

11684 HIGGINS AIRPORT WAY BURLINGTON, WA

FOR SUBLEASE

Building B, Unit 102

12,190 +/- sf hangar space

Restroom and shower in space

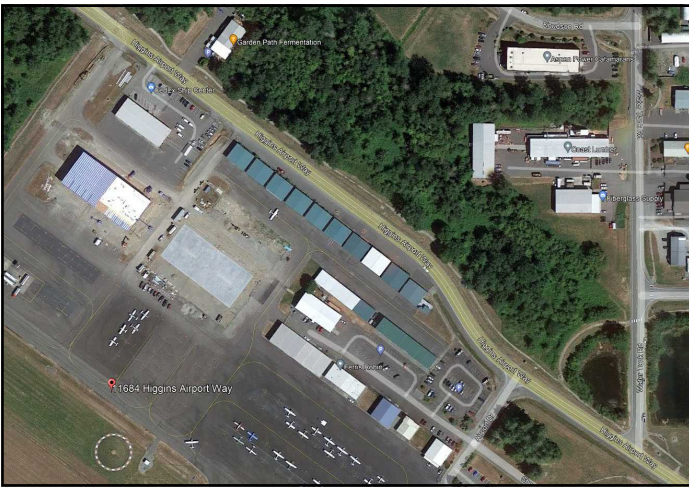
105' x 28' power door

Port of Skagit County Ground Lease

Zoned AVR: Aviation Related

\$15,000 per month NNN

*this is a sublease and subject to Landlord approval



Jarrod Ball

Learned Commercial, Inc.

108 Gilkey Road, Burlington, WA 98233

360.757.3888

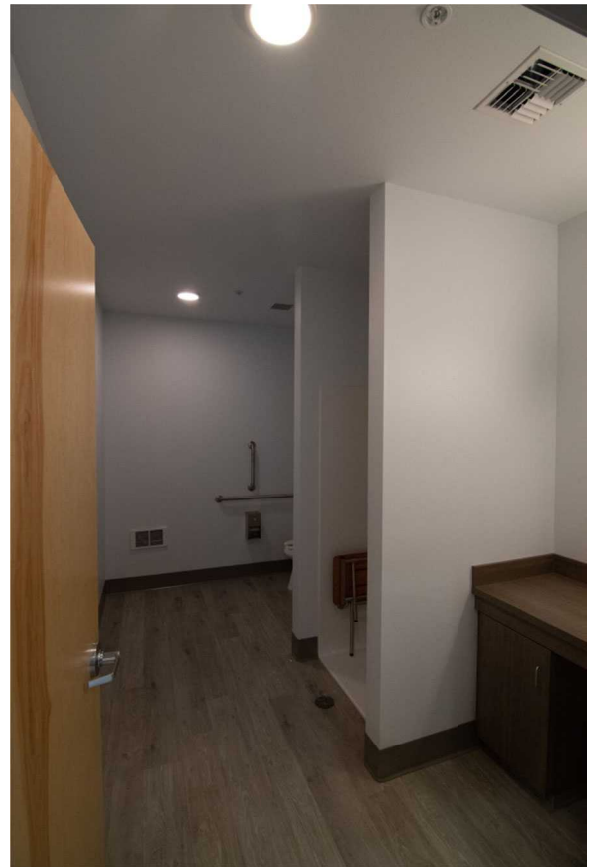
jb@learnedcommercial.com



LEARNED
COMMERCIAL, INC.

Providing Select Commercial Real Estate Services

All info deemed reliable however verification recommended.





UNDERWOOD
& ASSOCIATES, LLC
1005 4th Street
anacortes, washington 98221
360.588.0471

9878
Registered
ARCHITECT

Michael G. Underwood
State of Washington

9.22.21

97.5% PERMIT SET

Project name:
NESS HANGAR

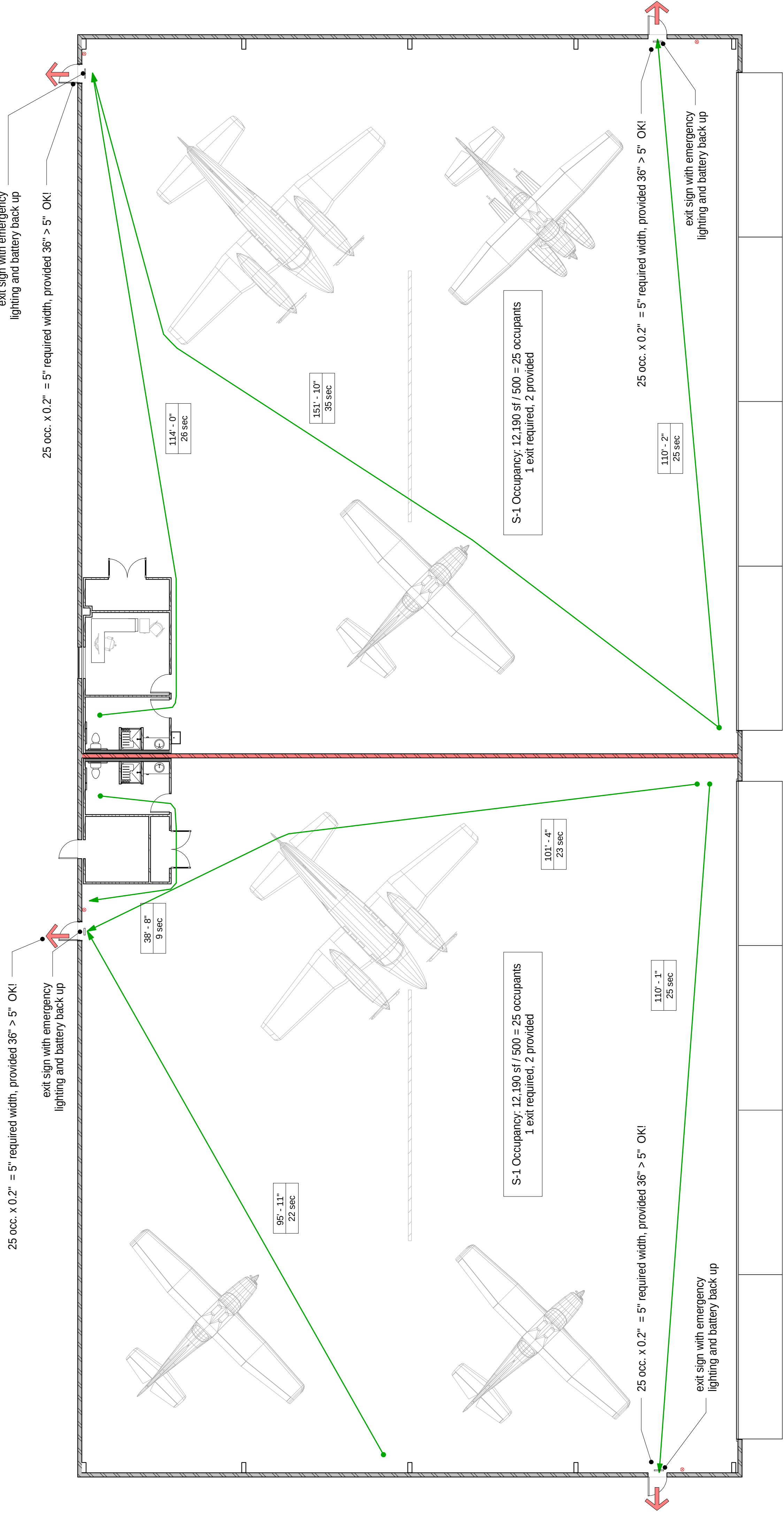
Project Address:
11674 Higgins Airport Way
Building B, Unit 101 and 102
Burlington, WA 98233
Project: NM 2021
Issue Date: 12/06/2021

Revisions	
No.	Date
Description	

OCCUPANCY &
EXITING PLAN

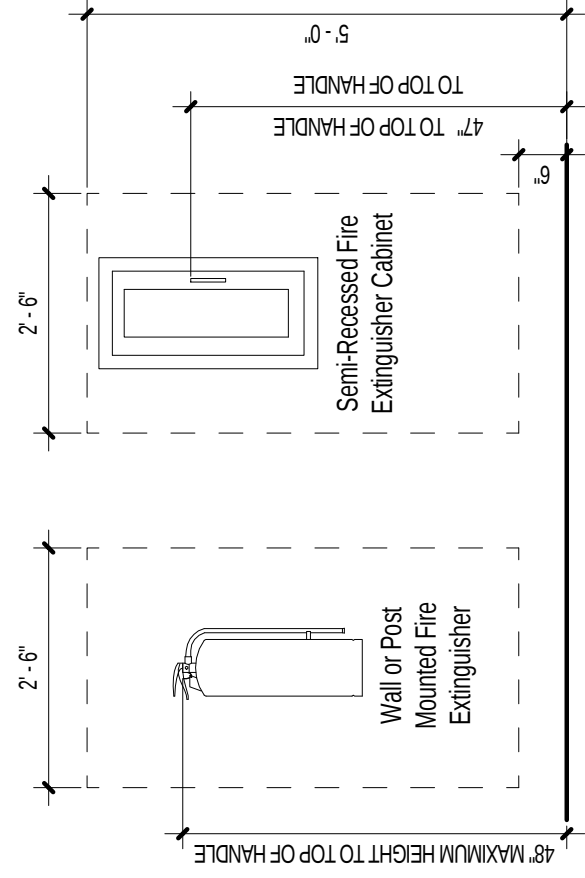
A004

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1 Overall Floor Plan
3/32" = 1'-0"

Path of Travel Schedule				
Level	Length	Speed	Time	
Main Floor Level	38' - 7 5/8"	3.0 mph	8.8 s	
Main Floor Level	95' - 10 63/64"	3.0 mph	21.8 s	
Main Floor Level	101' - 4 27/128"	3.0 mph	23.0 s	
Main Floor Level	110' - 0 69/128"	3.0 mph	25.0 s	
Main Floor Level	110' - 2 71/256"	3.0 mph	25.0 s	
Main Floor Level	114' - 0 41/256"	3.0 mph	25.9 s	
Main Floor Level	151' - 10 55/256"	3.0 mph	34.5 s	
Grand total: 7				

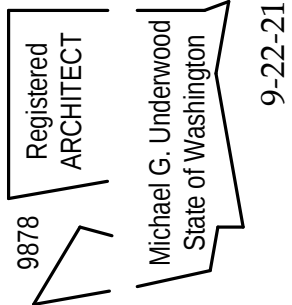


2 Fire Extinguisher Detail
1/2" = 1'-0"



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- NOTES:
SEE SHEET A103 FOR DIMENSIONS, CALLOUTS,
& DETAILS OF ANCILLARY SPACE.
2. SEE A103 FOR DOOR AND WINDOW
SCHEDULES.
3. SEE A103 FOR FIRE-RATED ASSEMBLIES.



97.5% PERMIT SET

Project name:
NESS HANGAR

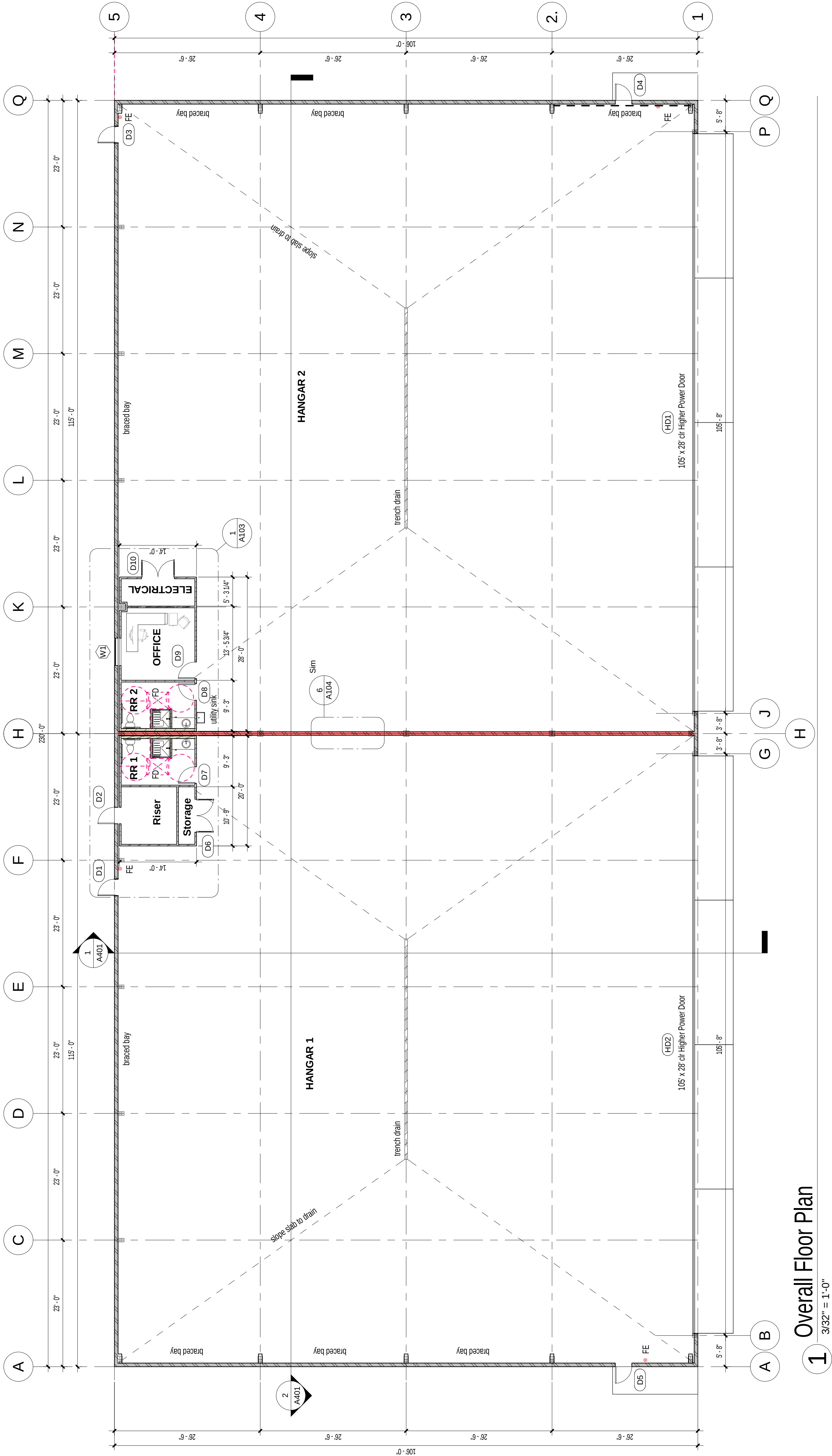
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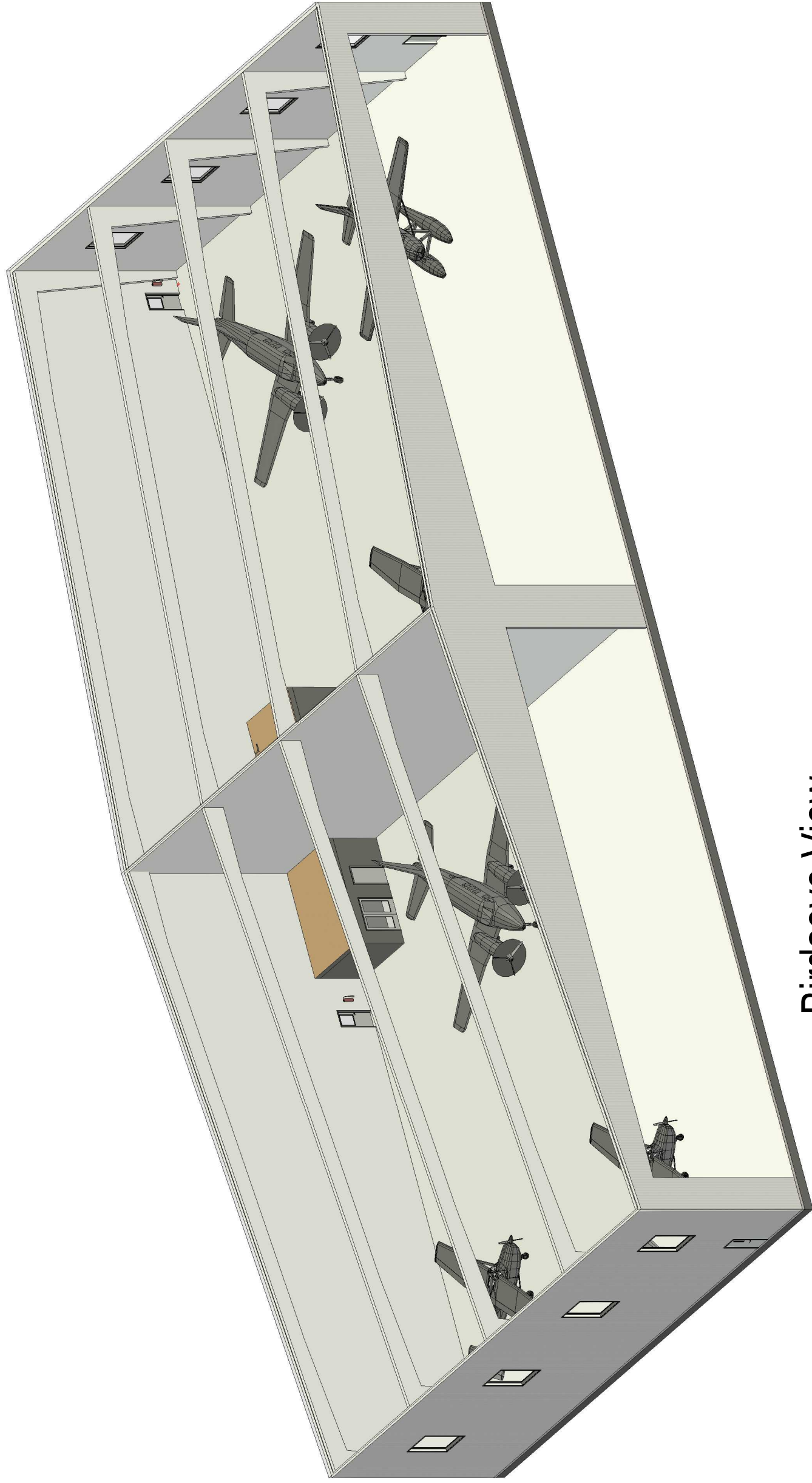
OVERALL
FLOOR PLAN

A102

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1 Overall Floor Plan
3/32" = 1'-0"



2 Birdseye View

Location Facts & Demographics

Demographics are determined by a 10 minute drive from 7 Higgins Airport Way, Burlington, WA 98233

CITY, STATE

Burlington, WA

POPULATION

7,771

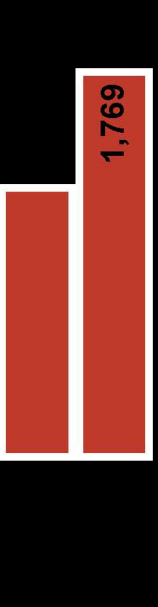
AVG. HH SIZE

2.51

MEDIAN HH INCOME

\$64,935

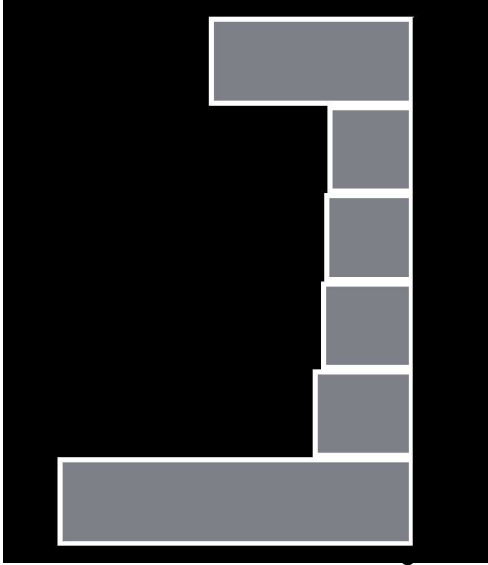
HOME OWNERSHIP



GENDER & AGE



48.42 %



RACE & ETHNICITY

White: 82.59 %

Asian: 1.46 %

Native American: 0.23 %

Pacific Islanders: 0.00 %

African-American: 0.00 %

Hispanic: 8.46 %

Two or More Races: 7.26 %

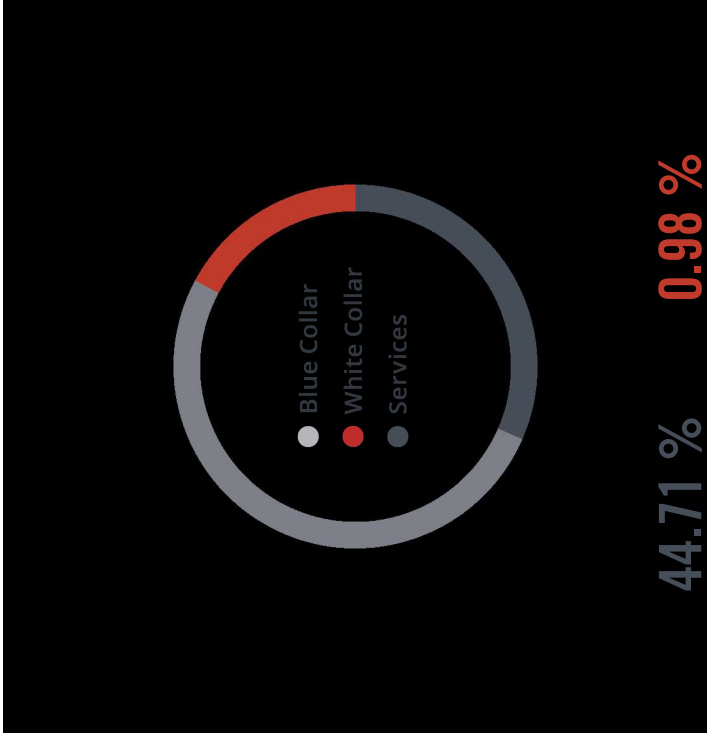
EDUCATION

High School Grad: 16.48 %

Some College: 37.93 %

Associates: 6.85 %

Bachelors: 26.52 %



44.71 %

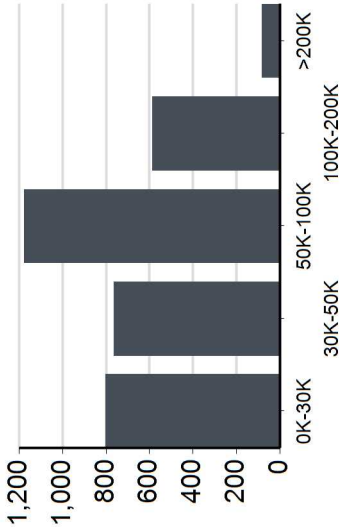
Employed

0.98 %

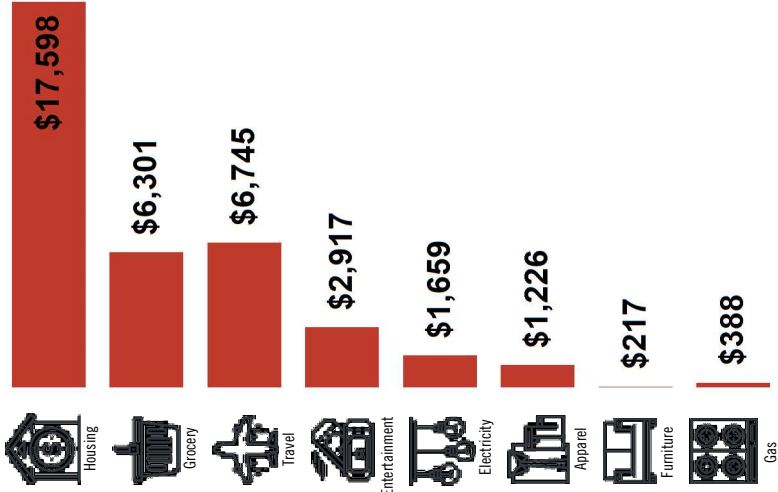
Unemployed



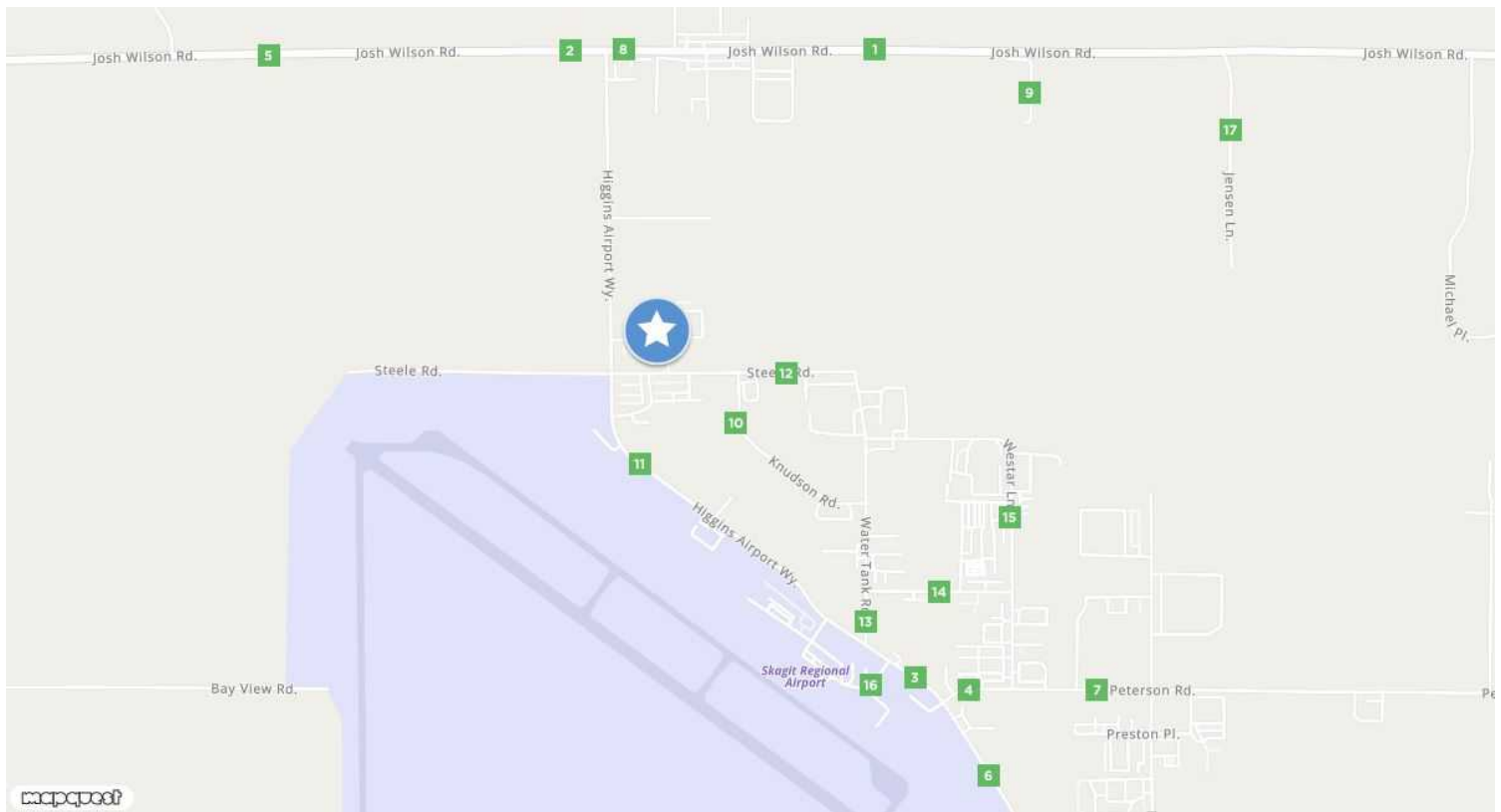
INCOME BY HOUSEHOLD



HH SPENDING



Traffic Counts



Josh Wilson Rd	1
View Ridge Dr	
Year: 2021	4,389 est
Year: 2016	4,371
Year: 2011	3,262

Higgins Airport Way	6
Peterson Rd	
Year: 2021	1,730 est
Year: 2015	2,103
Year: 2010	1,502

Flightline Rd	11
Higgins Airport Way	
Year:	0 est
Year: 1997	50

Airport Dr	16
Higgins Airport Way	
Year:	0 est
Year: 1997	50

Josh Wilson Rd	2
Higgins Airport Way	
Year: 2021	3,153 est
Year: 2015	3,100

Peterson Rd	7
Bay Ridge Dr	
Year: 2021	1,688 est
Year: 2011	1,639
Year: 2004	1,685

Steele Rd	12
Knudson Rd	
Year:	0 est
Year: 1997	50

Jensen Ln	17
Josh Wilson Rd	
Year:	0 est
Year: 1997	50

Higgins Airport Way	3
Airport Dr	
Year: 2021	1,302 est
Year: 2015	1,291
Year: 2011	978

Josh Wilson Rd	8
Higgins Airport Way	
Year: 2021	4,969 est
Year: 2009	3,917
Year: 2007	5,160

Water Tank Rd	13
Higgins Airport Way	
Year:	0 est
Year: 1997	20

Peterson Rd	4
Higgins Airport Way	
Year: 2021	1,921 est
Year: 2015	2,082
Year: 2011	1,639

View Ridge Dr	9
Josh Wilson Rd	
Year:	0 est
Year: 2001	70

Ashten Rd	14
Westar Ln	
Year:	0 est
Year: 1997	50

Josh Wilson Rd	5
Bay Meadows Ln	
Year: 2021	2,914 est
Year: 2015	2,896
Year: 2011	2,781

Knudson Rd	10
Steele Rd	
Year:	0 est
Year: 1997	50

Westar Ln	15
Ashten Rd	
Year:	0 est
Year: 1997	50



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14.16.200 Aviation Related (AVR).

(1) Purpose. The purpose of the Aviation Related district is to provide a place for regional airfields and [uses](#) which require proximity and access to an established airfield. Land designated as AVR should be located adjacent and accessible to [airport](#) terminals, hangar areas, taxiways, and related facilities. Federal Aviation Administration regulations and the applicable [Airport](#) Master Plan for the [airport](#) facility under review further restrict [building](#) and site [development](#) within the AVR [zone](#).

(2) [Permitted Uses](#).

- (a) Air charter services.
 - (b) Aircraft fueling.
 - (c) Aircraft maintenance and [repair](#).
 - (d) Aircraft parking and hangars.
 - (e) Aircraft related manufacturing.
 - (f) Aircraft sales and sales of aircraft parts.
 - (g) [Airport](#) including terminal facilities.
 - (h) Aviation schools.
 - (i) [Habitat enhancement and/or restoration projects](#), except [mitigation banks](#) as defined by [SCC 14.04.020](#).
 - (j) Regional airfields.
 - (k) Restaurant.
 - (l) [Temporary events](#).
 - (m) [Uses](#) that require or utilize aviation access and those that serve the aviation industry and/or air passengers.
 - (n) [Uses](#) accessory or related to aviation, such as aviation-related navigation aids.
 - (o) [Uses](#) permitted in the BR-LI [zone](#).
 - (p) Vehicle rental.
 - (q) Warehousing for [airport](#) users.
 - (r) [Maintenance, drainage](#).
 - (s) [Net metering system](#), solar.
 - (t) [Repair, replacement](#) and maintenance of water lines with an inside diameter of 12 inches or less.
 - (u) [Vehicle charging station](#).
- (3) Administrative Special [Uses](#).
- (a) Expansion of existing [major public uses](#) up to 3,000 square feet.
 - (b) [Minor public uses](#).
 - (c) Minor [utility developments](#).

- (d) Outdoor storage of materials in quantities less than 50 cubic yards that may have a potential health hazard. Does not include storage of [hazardous materials](#).
- (e) Outdoor storage of processed and unprocessed natural materials in quantities less than 500 cubic yards that do not have a potential health hazard.
- (f) Trails and primary and [secondary trailheads](#).

(4) [Hearing Examiner Special Uses](#).

- (a) [Major public uses](#) and expansions of existing [major public uses](#), 3,000 square feet and greater.
- (b) Major [utility developments](#).
- (c) Outdoor storage of materials in quantities greater than 50 cubic yards that may have a potential health hazard. Does not include storage of [hazardous materials](#).
- (d) Outdoor storage of processed and unprocessed natural materials in quantities greater than 500 cubic yards that do not have a potential health hazard.
- (e) [Personal wireless services](#) towers, subject to [SCC 14.16.720](#).
- (f) Storage of unlicensed and/or [inoperable vehicles](#).

(5) [Dimensional Standards](#).

- (a) [Setbacks](#).
 - (i) All [setbacks](#) shall conform to the adopted [building](#) code of Skagit [County](#).
- (b) Maximum height: consistent with the adopted [building](#) code of Skagit [County](#) regulations concerning [height](#) restrictions pursuant to the [Airport](#) Environs Overlay, [SCC 14.16.210](#).

(6) Special Provisions.

- (a) All improvements shall conform to applicable Federal regulations concerning dimensional restriction on air operations including [height](#) restrictions and required [setbacks](#) from air operations areas.

(7) Additional requirements related to this [zone](#) are found in [SCC 14.16.210](#), [14.16.600](#) through [14.16.900](#) and the rest of the Skagit [County](#) Code. (Ord. O20200005 § 1 (Att. 2); Ord. O20170006 § 1 (Att. 1); Ord. O20160004 § 6 (Att. 6); Ord. O20110007 Attch. 1 (part); Ord. O20070009 (part); Ord. O20060007 Exh. D § 5; Ord. 17938 Attch. F (part), 2000)