

FOR LEASE-New Construction in Existing Business Park

Marine Drive Business Park

3161 & 3171 Mercer Ave.

2,755 SF

\$1.00 PSF, plus NNN

Great parking, conveniently located off
Marine Drive

Office and Warehouse space with Roll up
doors

Building 8 has a loading dock



The information contained herein has been obtained from sources we deem reliable. We do not, however, guarantee its accuracy. All information should be verified prior to purchase or lease

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WestCom
PROPERTIES, INC

3111 Newmarket Street, Suite 108
Bellingham, WA 98226
office: 360.647.2856
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GENERAL NOTES:

1. Code–International Building Code (IBC) 2015 Edition. Uniform Plumbing Code (UPC) 2015 Edition. International Fire Code (IFC) 2015 Edition.
2. Contractor to verify all dimensions prior to construction.
3. Do not scale these drawings for critical dimensions. All dimensions to face of studs and face of concrete unless otherwise noted.
4. All work shall conform to all Local and State Building Codes and Ordinances and be enforced by the Contractors at all times.
5. General Contractor shall provide pedestrian protection barricades and / or canopies as required by the Local Authorities or as necessary for pedestrian safety.
6. During construction, Contractors shall provide and maintain fire extinguishers as required by the Local Fire Department Field Inspector.
7. Contractor shall be responsible for floor patching, leveling, and preparation of floor finishes.
8. Maintain a minimum distance of 6” between finish grade and untreated framing materials.
9. Finish grade shall slope away from building toward drainage facilities.
10. Slope all decks, walks, and patios away from buildings.
11. All lumber must bear an approved grading stamp.
12. All wood in contact with earth or concrete shall be pressure treated.
13. All exposed exterior metal shall be painted, galvanized, or non–ferrous.
14. All glass in hazardous area and all glass within 18” of floor shall be approved safety glass (IBC 2406)
15. Exit doors serving an occupant load of more than 50 shall swing in the direction of exit travel. Opening force of exit doors on accessible route of travel shall not exceed 8.5 pounds. Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort. Flush or surface bolt latches are prohibited. If dead bolts are installed, the occupant must post a sign above the exit door stating that the door must remain unlocked during business hours.
16. Lighted exit signs shall be installed at all required exits with occupant loads exceeding 50. Alternate 12v power source required.
17. Interior wall and ceiling finish flame spread ratings shall conform to IBC Section 803.
18. Toilet room walls to be finished with moisture resistant materials to a minimum height of 48” above the floor.
19. Any / all new duct work shall be constructed, erected, and tested in accordance with the most restrictive local regulations and procedures detailed in Ashrae Handbook of Fundamentals or the applicable standards adopted by the Sheet Metal and Air Conditioning Contractors National Association.
20. Rooms not provided with an operable window of 1.5 sq. ft. shall provide a mechanical ventilation system capable of 5 air changes per hour.
21. Exhaust ducts shall be installed in 26 ga. metal ducts vented to an exterior terminal with approved back draft damper (R–4 Insul.)
22. Toilet rooms shall install mechanical ventilation capable of providing 50 CFM at .25 W.G. Floor and walls shall have smooth, non–absorbant surfaces.

WASHINGTON STATE ENERGY CODE REQUIREMENTS

1. All sinks shall be equipped with hot water flow control devices limiting flow to 0.5 GPM
2. Exterior joints around windows, doors, wall, and roof penetrationsshall be sealed, caulked, gasketed, or weather–stripped to limit air leakage.
3. Vapor barriers with a minimum 1.0 perm rating shall be installed on the warm side of insulated components.
4. HVAC systems shall be sized no greater than 150% of the heating and cooling design loads.

FIRE PROTECTION NOTES

1. All required permits must be obtained from the Fire District as required.
2. All fixed fire protection equipment design drawings(sprinkler systems, standpipes, fire alarms) must be submitted to, and approved by the Fire District before this equipment is installed.
3. Required on–site fire hydrants must be installed, tested, and approved.
4. Fire Lane Sings – Fire access roads shall be marked with permanent “No Parking – Fire Lane” signs. Signs shall be 12” x 17”, have red letters on a white background, and shall comply with Federal Dept. of Transportation Standards for R8–31 signs. Signs shall be installed at the entrance to the fire lane and at 150 ft.
5. Premises Address – The premises address shall be prominently displayed on the street side of the building, Numbers shall be a minimum 8” in height with a principal stroke of not less than ¾” and shall contrast to their background.
6. Door signs – Individual room doors opening onto interior corridors shall be identified and have letters or numbers at least 1–1/2” high on a contrasting background. All doors having a 60 min. rating or more shall be identified with permanent signs on both sides of the door reading: “FIRE DOOR DO NOT OBSTRUCT”. Signs shall have letters at least 1” high on a contrasting background.
7. Portable Fire Extinguishers – Portable fire extinguishers, each having a minimum U.L. classification of 2A–10 BC, shall be provided adjacent to each exit and less than 75 feet travel distance between or every 3,000 sq. ft., whichever is greater. They shall be placed in conspicuous locations with the tops mounted less than 5 ft. above the floor. Where extinguishers are not visible in all directions, approved signs indicating their locations shall be installed. Recessed wall cabinets shall be installed to maintain fire resistive wall requirements.
8. Where rated opening protection is required, full rated assemblies bearing the label of a nationally recognized testing organization to be installed as per their listings and code requirements.
9. Fire damper assemblies including sleeves and installation procedures shall be approved by the building installation.
10. Plumbing and electrical penetrations through the fire assemblies shall be approved prior to cover.

BARRIER FREE CODE

1. SIGNAGE – Provide a sign (international symbol for access) at the following locations:

A. Primary public entrances

B. Accessible parking facilities (1 per space @ occupancy)

C. Primary building entrances

D. Accessible toilet rooms

E. Required accessible exits

F. Required accessible rooms

G. Signs for the visually impaired should identify accessible route of travel to toilet,= room, stairs, elevators, and hazardous occupancies, per IBC Section 1100
2. SITE ACCESS

A. Walks – 44” min. width, max slope 1/48. cross slope 1/48.

B. Ramps – 44” min. width, max slope 1/12, cross slope 1/48.

C. Curb Cuts – max slope 1/12 m cross slope 1/6.

D. Landings –1/30 ft. of ramp, min length 5ft.

E. Parking Spaces – max slope ¼8, to abut the accessible route of travel.
3. PRIMARY BUILDING ACCESS

A. Doors – min 32” clear opening, 8.5 pounds of force

B. Threshold –1/2” max height

C. Clearances – 18” clear on pull side of door, 12” on push side of door.

Architectural Drawings

- A1–7 Project Info & General Notes
- LA1 Site Plan w/ Landscape
- A2–7 Building Elevations
- A3–7 Floor Plan & Details
- A4–7 Typical Wall Section, Door and Window Schedules
- A–5 Building Sections
- A–6 Office Details
- S1–7 Structural Notes & Typ Details
- S2–7 Foundation Plan – West
- S3–7 Foundation Plan – East
- S4–7 Foundation Details
- S5–7 Framing Details
- E1–7 Lighting Plan

VP Buildings pages – Erection Drawings 1–43

Deferred Submittals

- FIRE SPRINKLER & ALARM PLANS
- CIVIL DRAWINGS SUBMITTED WITH LDP

Marine Drive Business Park

3161 Mercer Avenue
Bellingham, WA

Owner

La Mirage Kiffmann LLC
8380 Miramar Mall, Ste 233
San Diego, CA 92121
Helmut Kiffmann

Contractor/Design Services

R/H Construction
5597 Guide Meridian
Bellingham, WA, 98226
360–398–2800
Dustin Honcoop, Project Manager

Civil Engineer

Freeland & Associates, Inc.
220 W Champion St. Ste 200
Bellingham, WA 98225
360–650–1408
Tony Freeland PE.

Foundation Structural Engineer

King Works
600 Dupont St B
Bellingham, WA 98225
John R King

Geotechnical Engineer

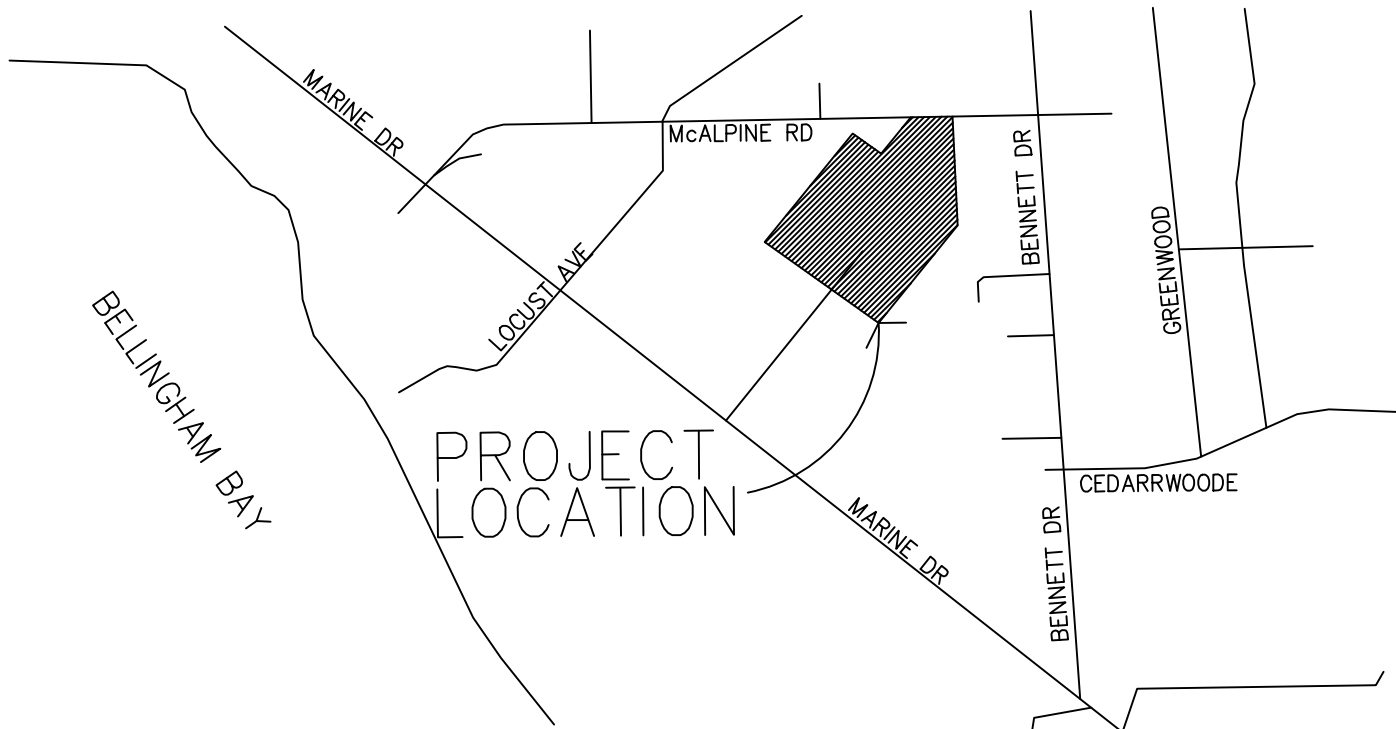
Materials Testing & Consulting Inc.
805 Dupont St #5
Bellingham, WA, 98225
360–647–6061

Project Description

Construction of pre–engineered steel building for a range of light industrial and business uses.
Site Address: 3161 Mercer Ave.
Tax Parcel # : 380223 179490
Legal Descripction: :Parcel B Marine Drive Industrial Park Short Plat. NW ¼, S23, T38N, R3E, WM.
Lot Area: 4.73 Acres
Zoning: Whatcom County Light Impact Industrial(LII) Zone
Parking: Per WCC 20.80.580 Varies depending on use. See Site Plan.

Code Compliance

Occupancy Groups: F–1 & S–1
Construction Type: IIB (Non–combustible, Fire Sprinklers, Fire Alarm)
Fire Resistance Exterior walls: 10’</=X 30’=0 hours. IBC Table 602. Separation between buildings is >20’
Main floor areas:
Building 7 = 19,215 sq. ft.
Occupant Load:
Building 7 = 87



ROOSENDAAL/HONCOOP
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PROJECT INFO & GENERAL NOTES

MARINE DRIVE BUSINESS PARK

BUILDING 7 – 8 BAYS
BELLINGHAM, WA

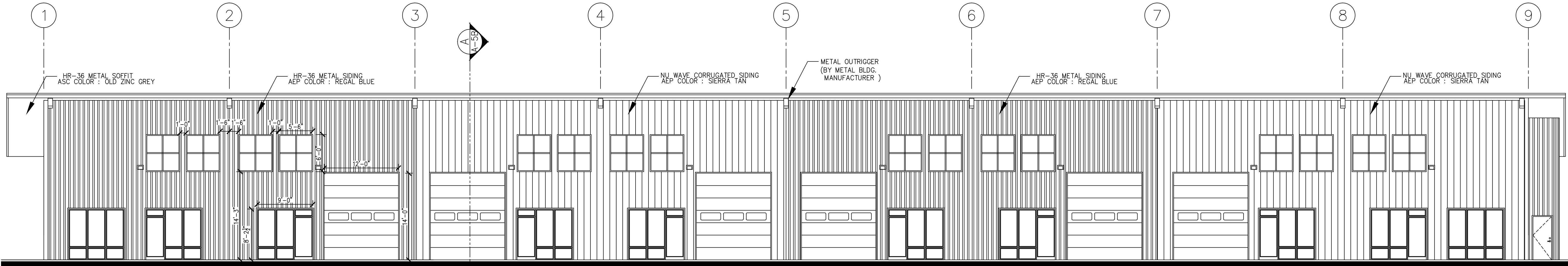
Revisions:
9–13–19
BK

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A1–7

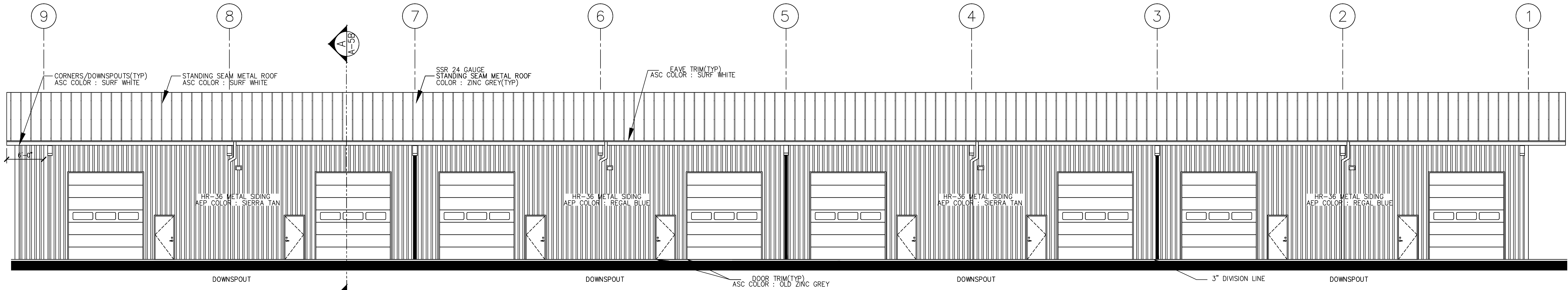
PERMIT SET



Front Elevation

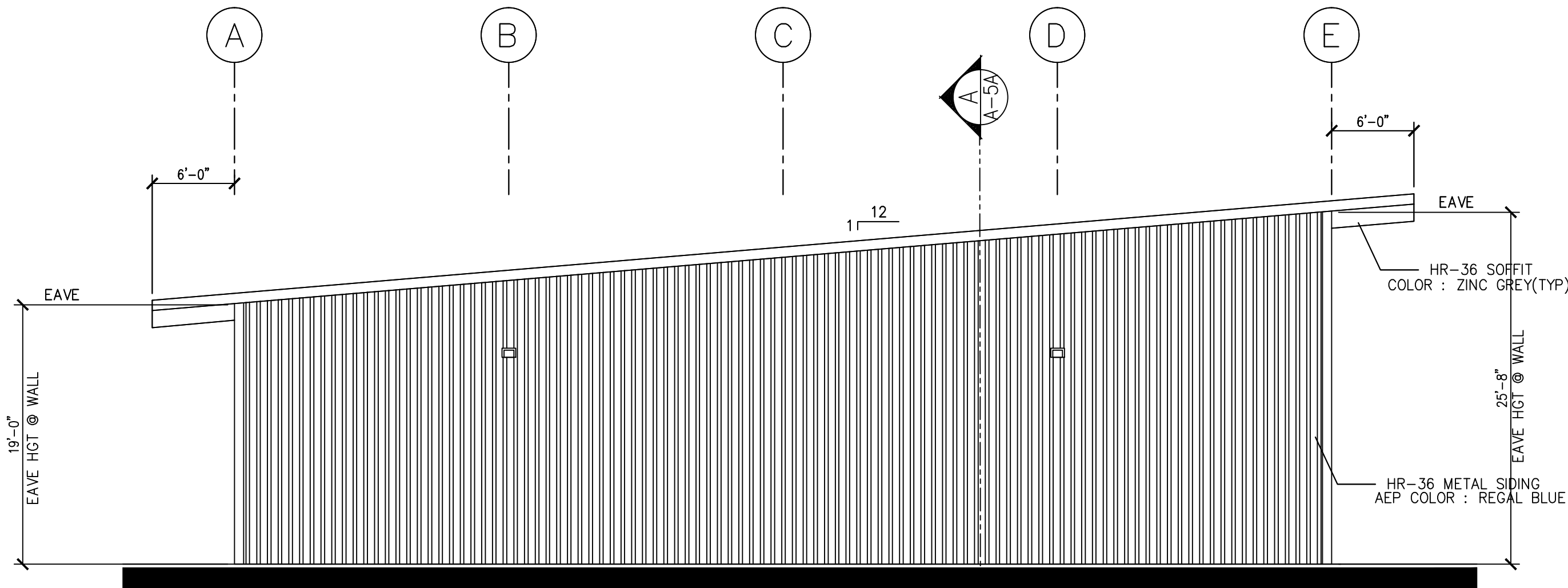
SCALE : 1/8" = 1'-0"

NOTE: SEE SITE PLAN FOR BUILDING LOCATION AND ORIENTATION

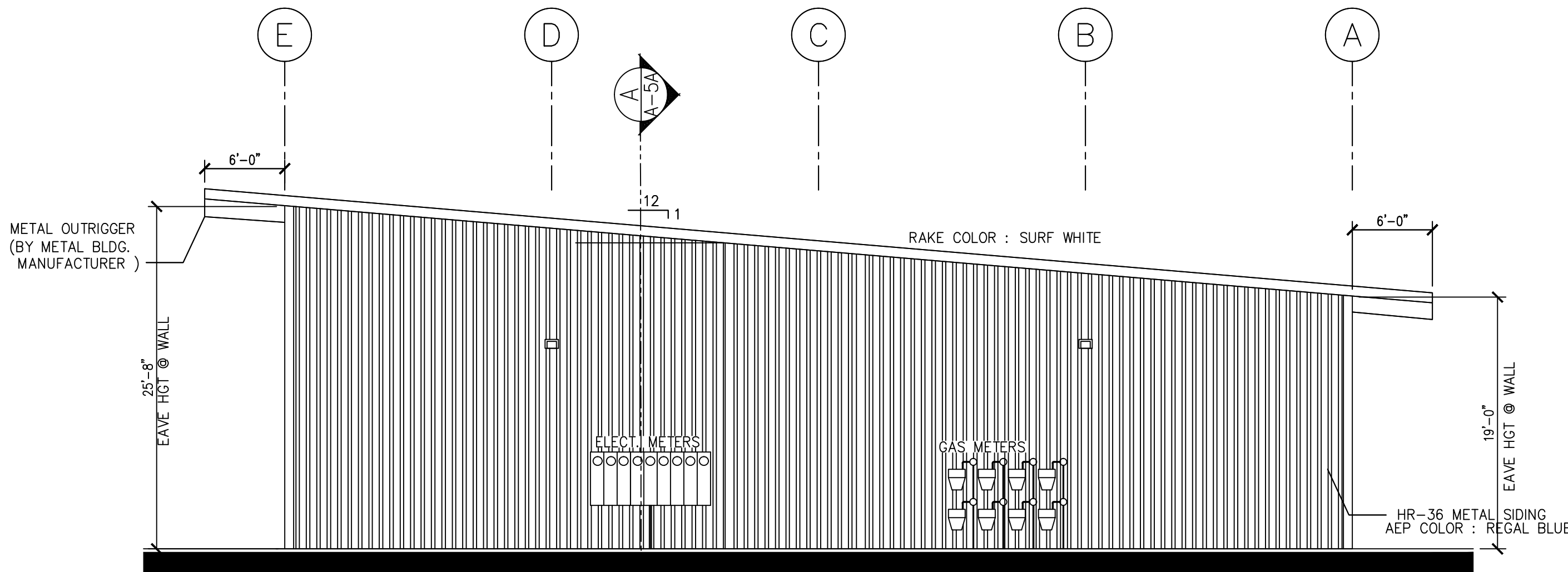


Back Elevation

SCALE : 1/8" = 1'-0"



Left Elevation



Right Elevation



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EXTERIOR ELEVATIONS

MARINE DRIVE BUSINESS PARK

BUILDING 7 - 8 BAYS

BELLINGHAM, WA

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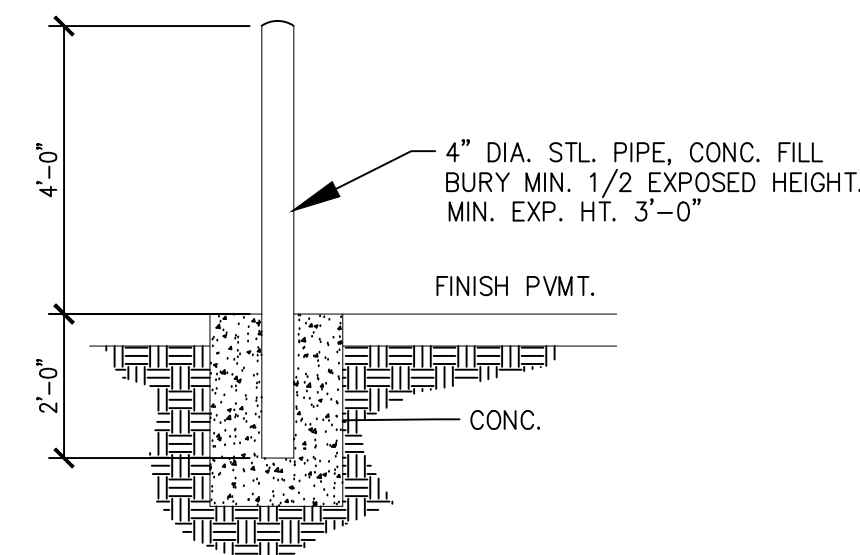
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PERMIT SET

SQUARE FOOTAGE	
UNIT SPACE	19200 Sq. Ft.
SHED FLR.	15 Sq. Ft.
TOTAL	19215 Sq. Ft.



1 Bollard Detail
SCALE: 1/2" = 1'-0"

- NOTE:
1. VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 2. VERIFY EQUIPMENT SIZE, ELECTRICAL REQUIREMENTS AND PLUMBING CONNECTIONS PRIOR TO INSTALLATION.

ACCESSIBLE NOTES

ACCESSIBLE PARKING SPACES:

1. (1) REQUIRED FOR EVERY 20 PARKING SPACES
8' x 20' SIZE W/ 8' x 20' AISLE.

ENTRY:

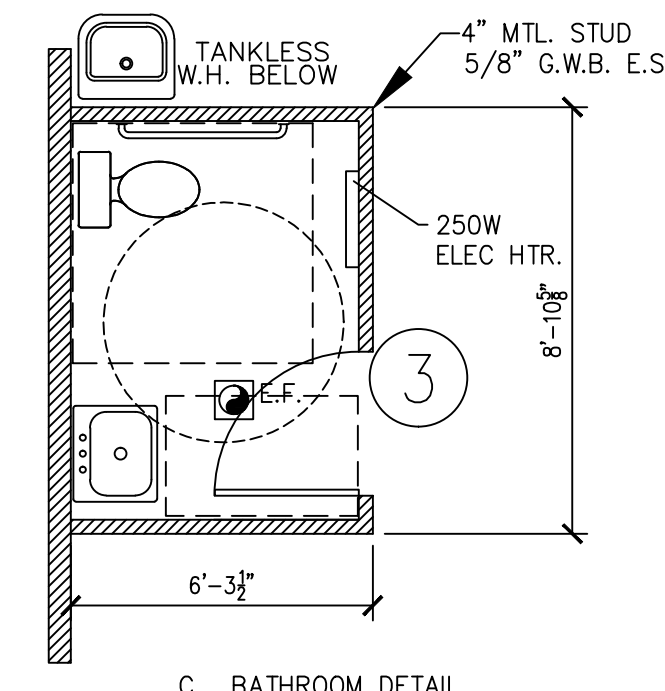
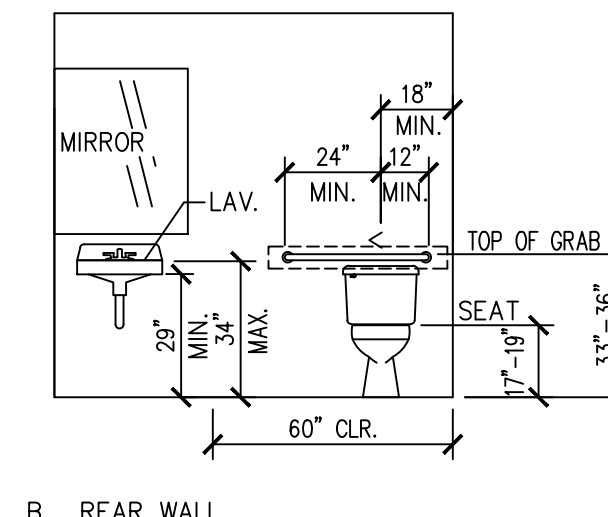
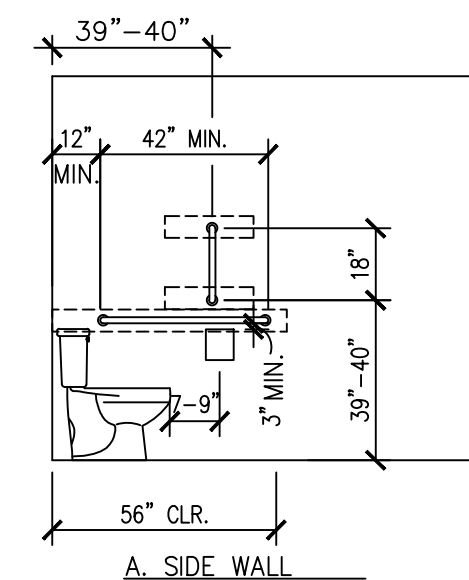
1. PROVIDE 60" x 60" CLEAR SPACE ON SWING SIDE OF DOOR.
2. 36" DOOR, 1/2" MAX. THRESHOLD.

ALL DOORS:

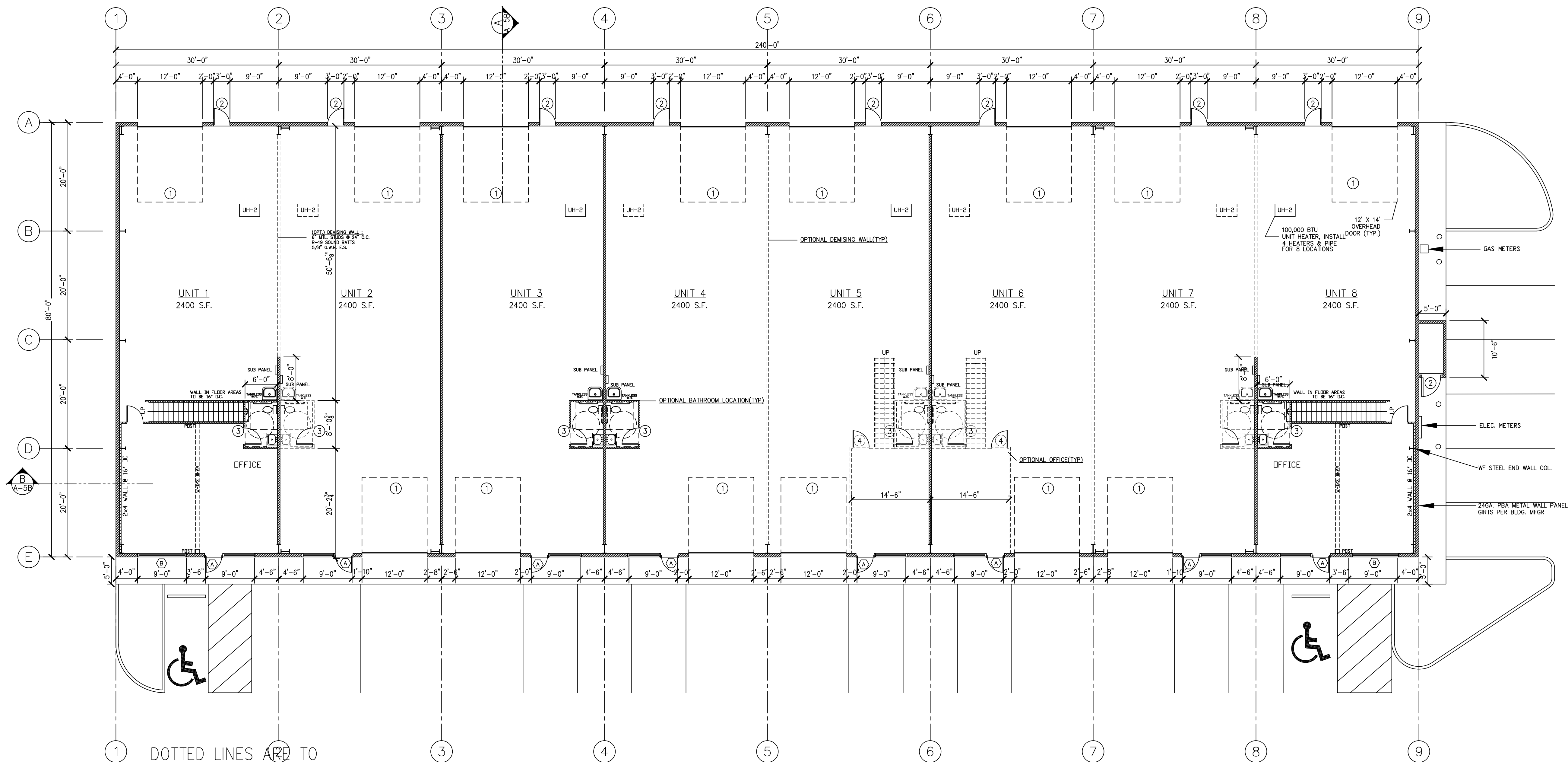
1. 36" WIDE DOORS MIN.
2. LEVER TYPE DOOR HARDWARE.

BATHROOM:

1. ALLOW 60" DIAMETER CLEAR AREA.
2. TOILET TO BE PLACED TO ALLOW GRAB BARS TO BE INSTALLED ON TWO SIDES, 18" FROM WALL TO CENTERLINE. TOILET ADAPTABLE TO ADJUST SEAT HEIGHT TO 17" - 19" ABOVE FLOOR.
3. PROVIDE GRAB BAR AT SHOWER AND TOILET LOCATIONS.



2 Accessible Toilet Room Details
SCALE: 1/4" = 1'-0"



1 DOTTED LINES ARE TO INDICATED POTENTIAL FUTURE IMPROVEMENTS

Building 7 Floor Plan
SCALE : 3/32" = 1'-0"



NOTES:

1. 16 PARKING SPACES PROVIDED. SEE CIVIL SITE PLAN FOR PARKING LAYOUT AND BUILDING SITE LOCATION.
2. SEE METAL BUILDING MANUFACTURER'S DRAWINGS FOR INFORMATION NOT SHOWN.



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MAIN FLOOR PLAN
MARINE DRIVE BUSINESS PARK
BUILDING 7 - 8 BAYS
BELLINGHAM, WA

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BUILDING SECTIONS
MARINE DRIVE BUSINESS PARK

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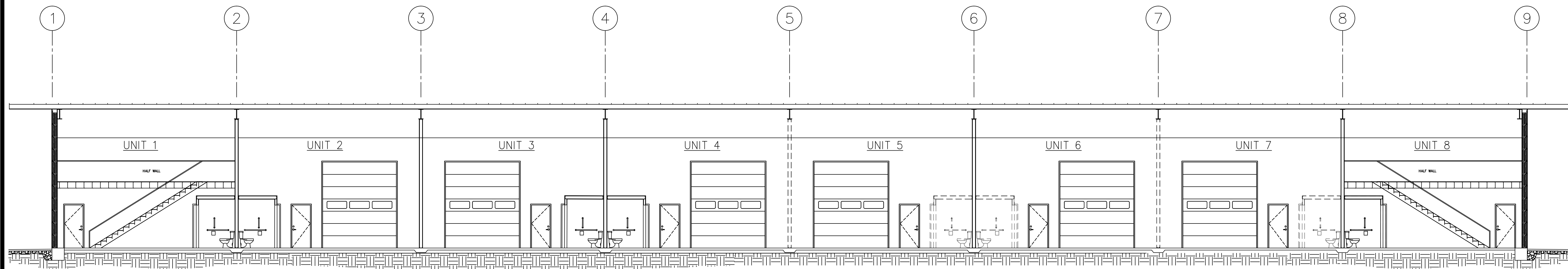
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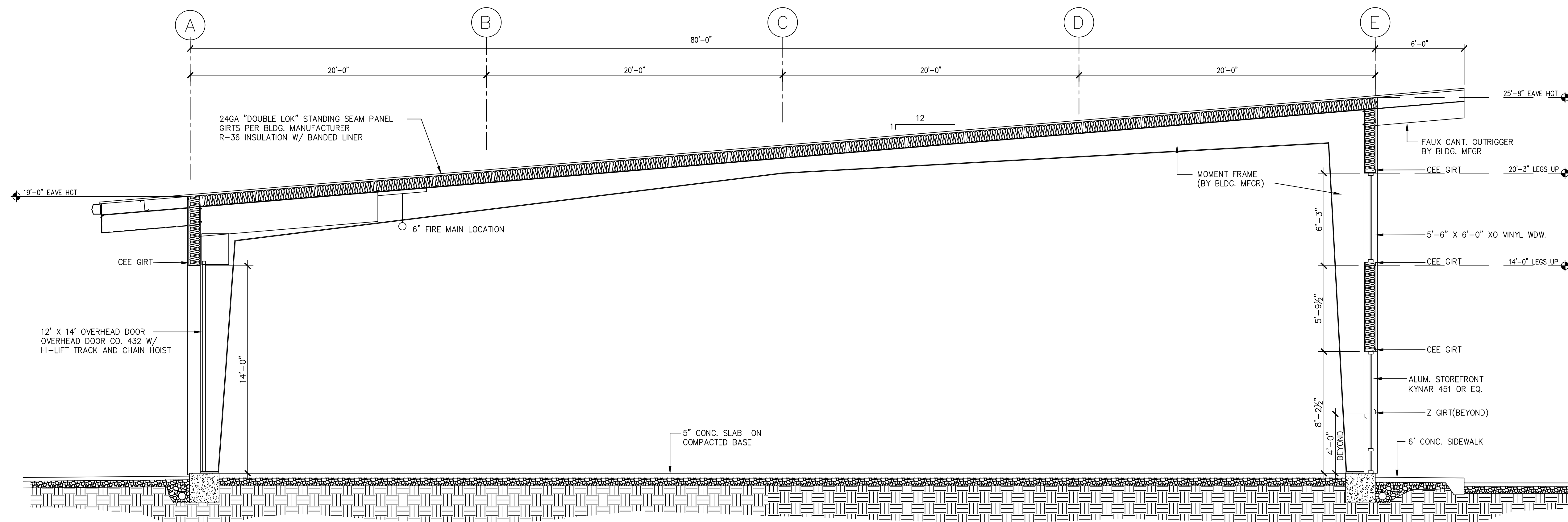
SCALE:
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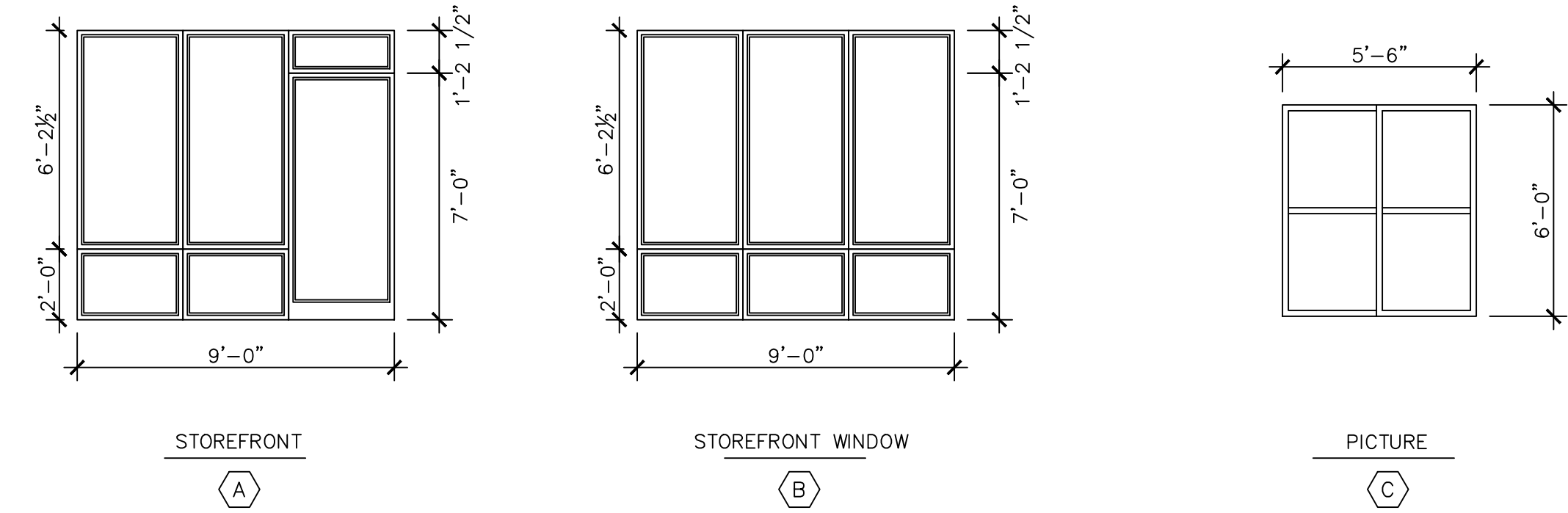
(B) Longitudinal Building Section
SCALE: 1/8" = 1'-0"



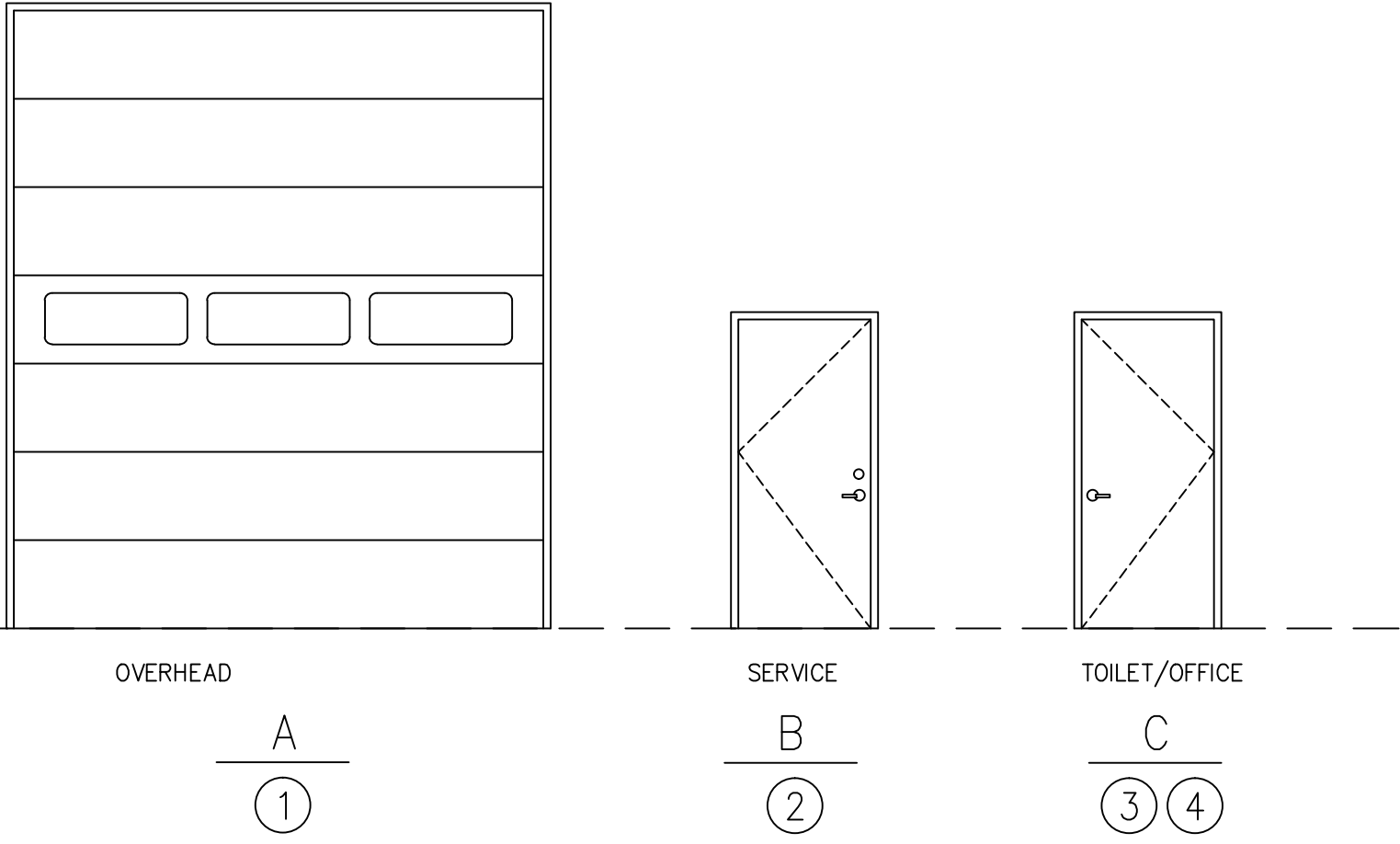
(A) Typical Building Section
SCALE: 1/4" = 1'-0"

PERMIT SET

WINDOW SCHEDULE								
MARK	WIDE	HIGH	TYPE	INSUL.	FRAME	U VALUE	HARDWARE	REMARKS
(A)	9'-0"	8-2 1/2'		INSUL.	ALUM.	0.80		
(B)	9'-0"	8-2 1/2'		INSUL.	ALUM.	0.60		
(C)	5'-6"	6'-0"	3	INSUL.	VINYL	0.39		XO VINYL WINDOW, HEAD @ 21' A.F.F.
NOTES								
1. VERIFY DOOR SWING WITH PLAN.								
2. ARCHITECT TO APPROVE SHOP DRAWINGS PRIOR TO FABRICATION.								
3. FIELD VERIFY ROUGH OPENING PRIOR TO FABRICATION.								



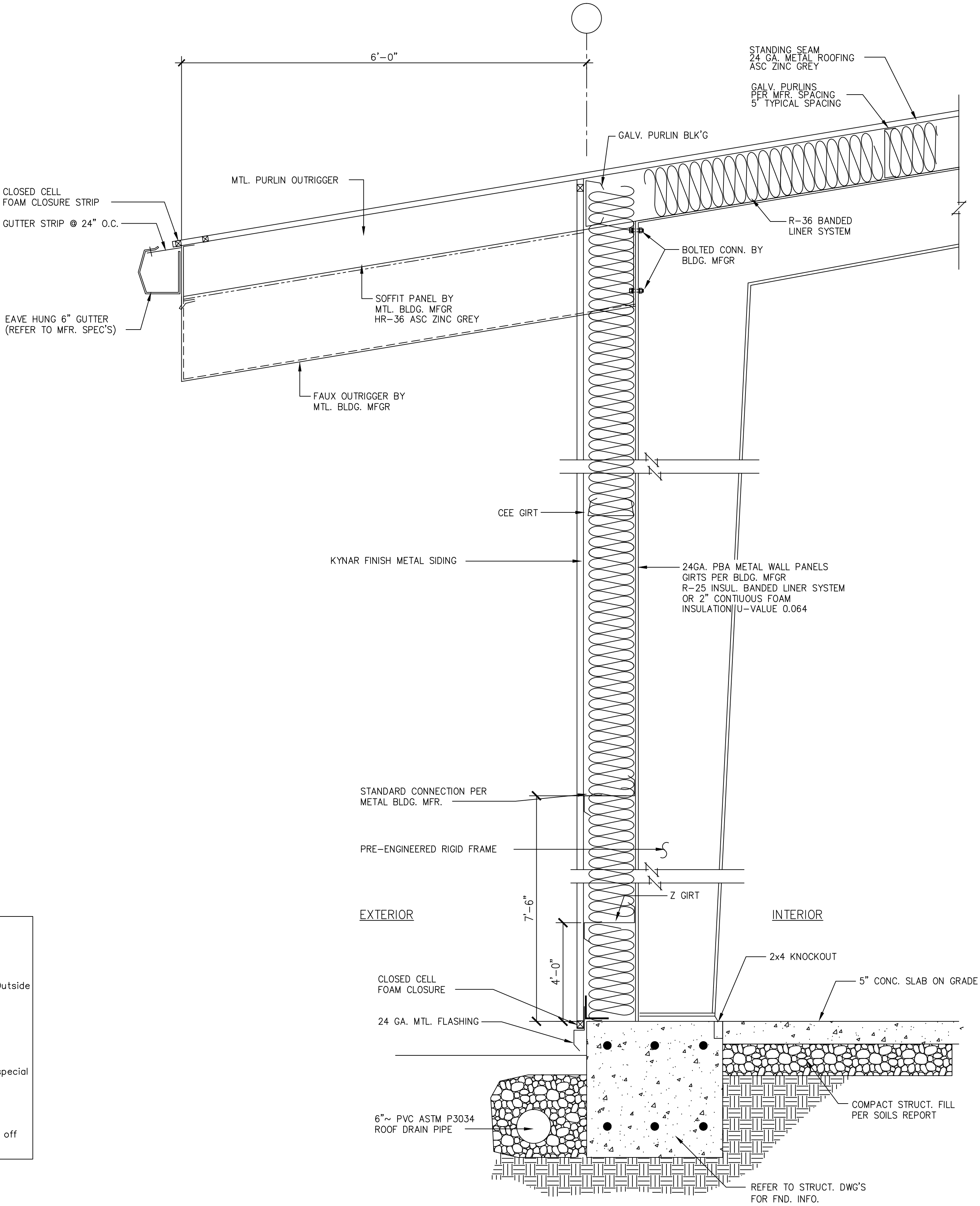
DOOR SCHEDULE										
MARK	WIDE	HIGH	THK.	TYPE	HDWRE	CONST. / FINISH	CLS.R.	T'HL'D	FRAME	REMARKS
1	12'-0"	14'-0"	-	A	-	METAL, INSULATED	YES	NO	MTL.	OVERHEAD DOOR 432 W/ HI-LIFT TRACK & CHAIN HOIST/R-10
2	3'-0"	7'-0"	1 3/4"	B	5	METAL, PAINT	NO	NO	MTL.	INSULATED METAL SERVICE DOOR
3	3'-0"	7'-0"	1 3/4"	B	4	PRE FINISHED WOOD	NO	NO	MTL.	TOILET ROOM DOOR,
4	3'-0"	7'-0"	1 3/4"	B	4	PRE FINISHED WOOD	NO	NO	MTL.	OFFICE
NOTE:										
DOOR FRAMES TO BE 16 GA. METAL.										
SEE PLAN FOR DOOR SWING DIRECTION.										



DOOR TYPES

DOOR HARDWARE SCHEDULE

FUNCTION	DESCRIPTION
1 Storefront Inside and outside lever always unlocked. Outside Entry deadbolt locked by key.	
2 Passage : Inside & outside level always unlocked.	
3 Office : Keyed entry set	
4 Privacy : Push button lock from inside, unlocked by special tool from outside.	
5 Storeroom Outside lever unlocked by keyed deadbolt. Inside lever always unlocked.	
6 O.H.D. Inside slide bolt, electric actuator with shut off	



1 Low Eave Wall Section
SCALE: 1" = 1'-0"
TYPICAL EXCLUDING LINE "E"



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BUILDING SECTIONS & DETAILS
MARINE DRIVE BUSINESS PARK

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CORNER OFFICE W/ MEZZANINE, RESTROOM
AND PARTIAL DEMISING WALL
MARINE DRIVE BUSINESS PARK

BELLINGHAM, WA

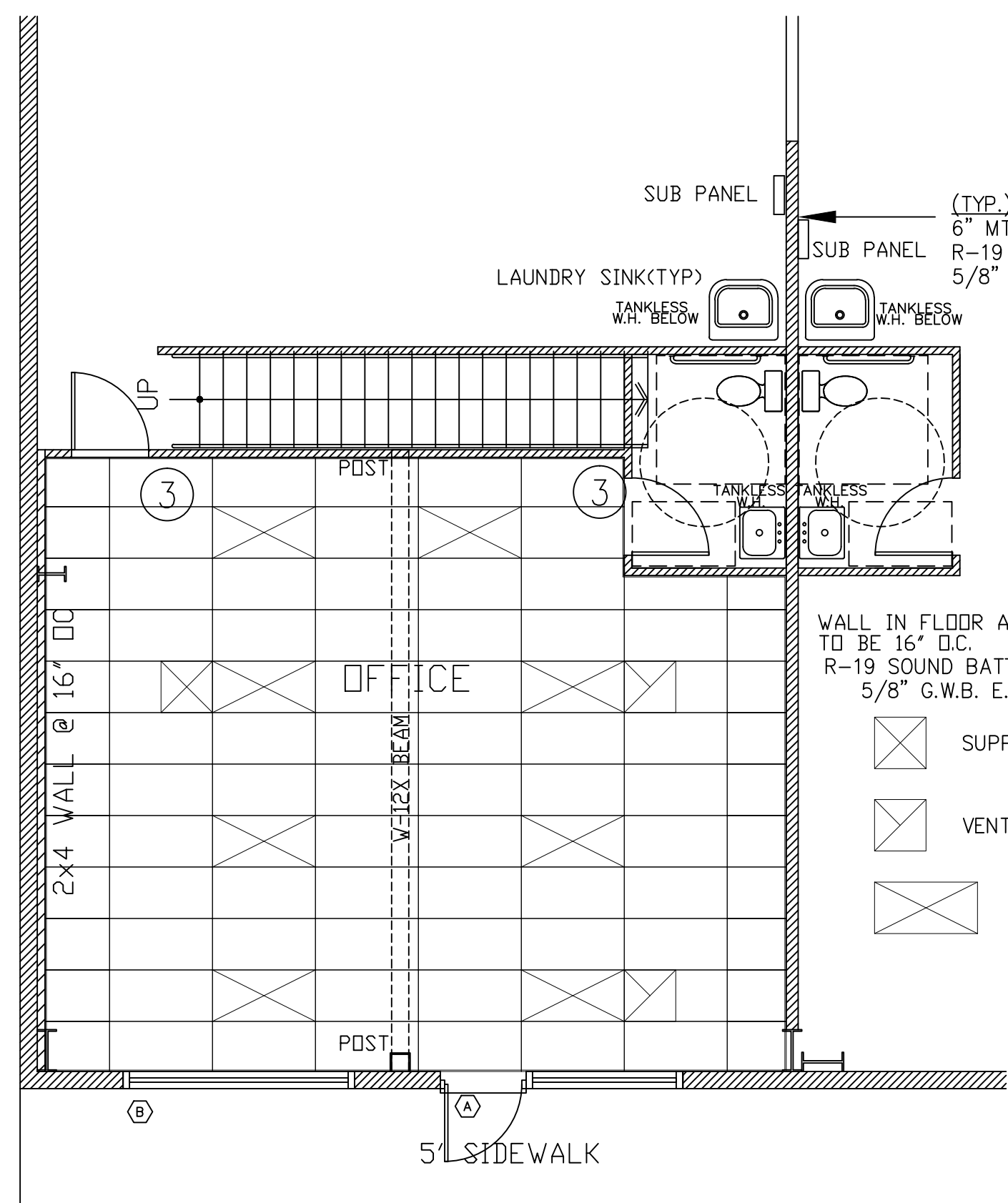
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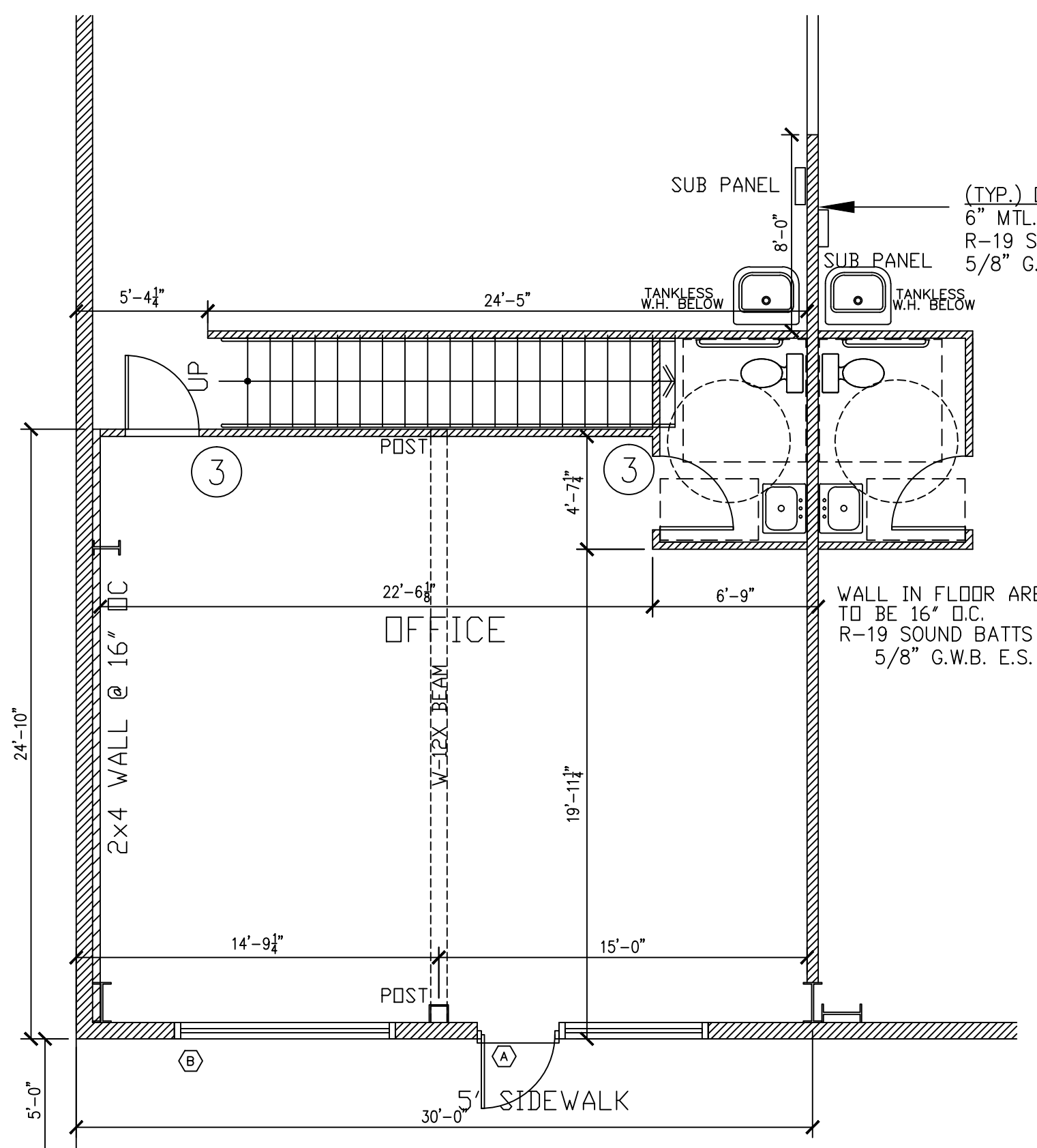
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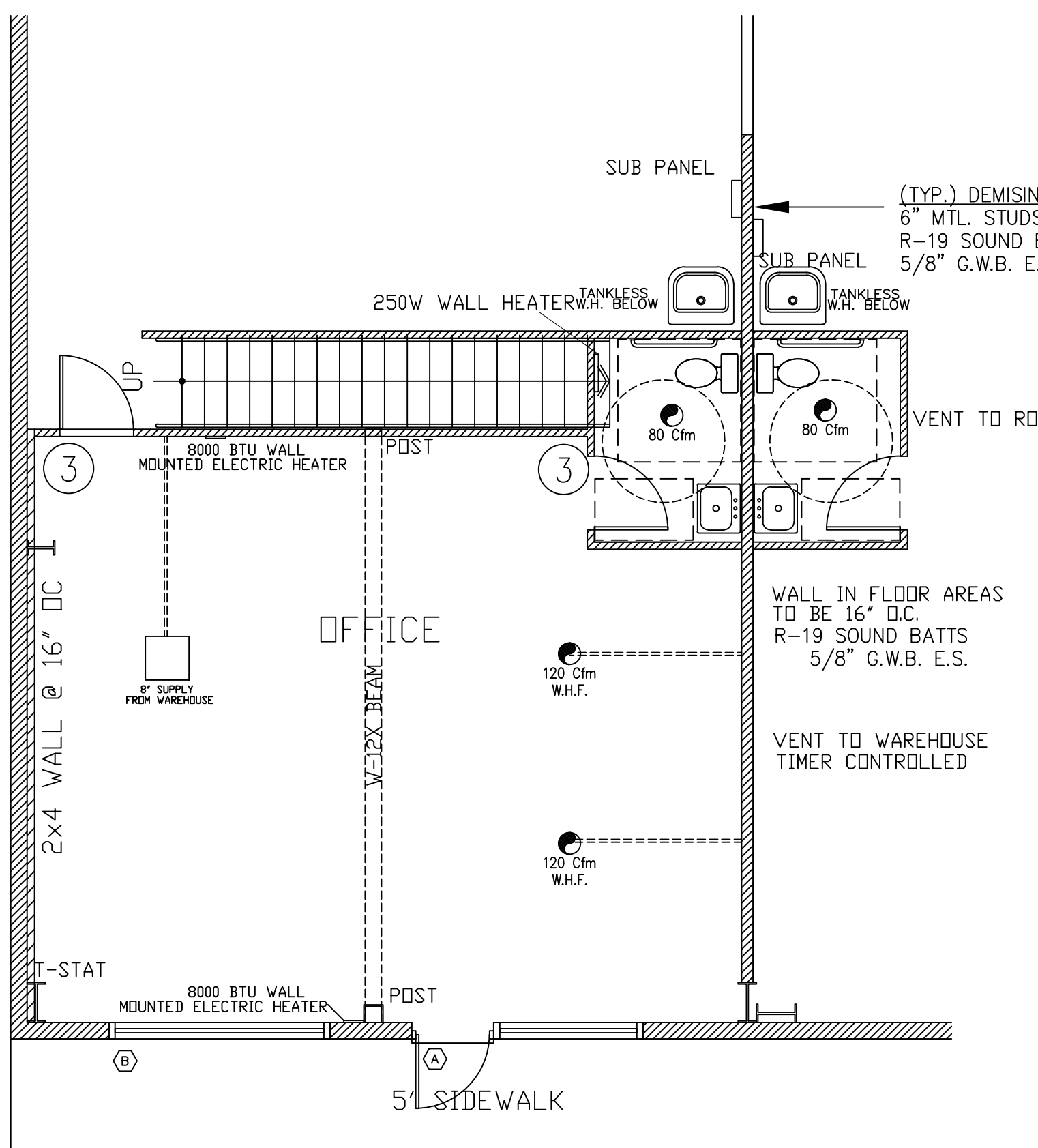
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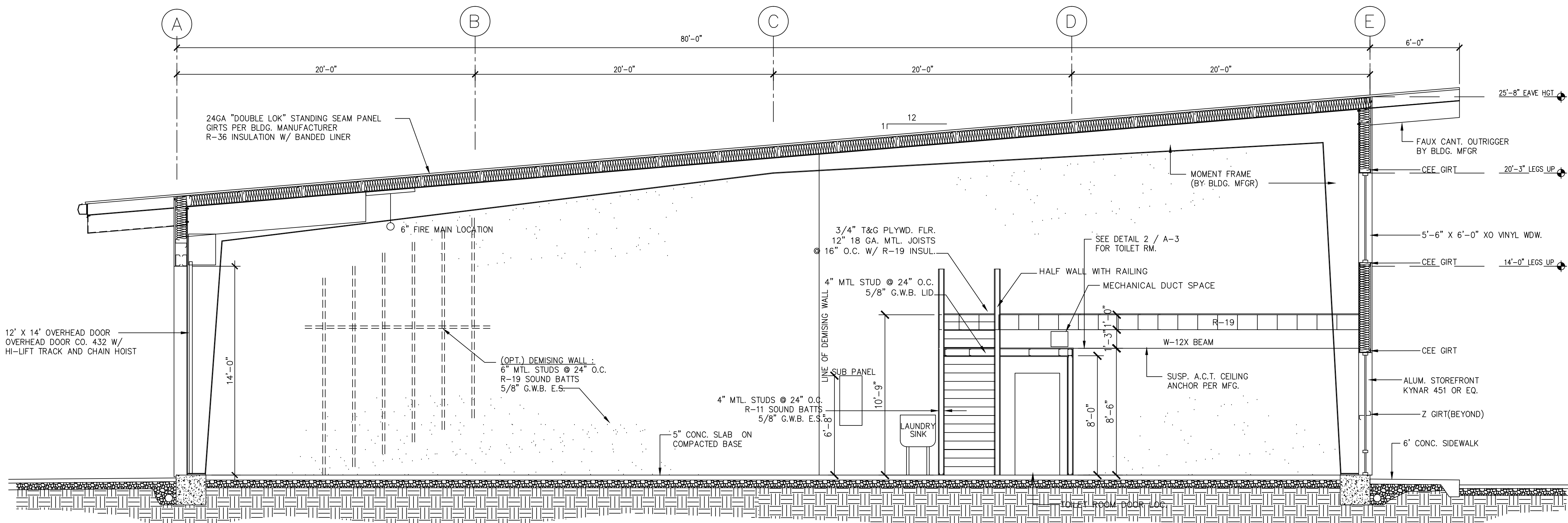
REFLECTIVE LIGHTING



DIMENSIONS



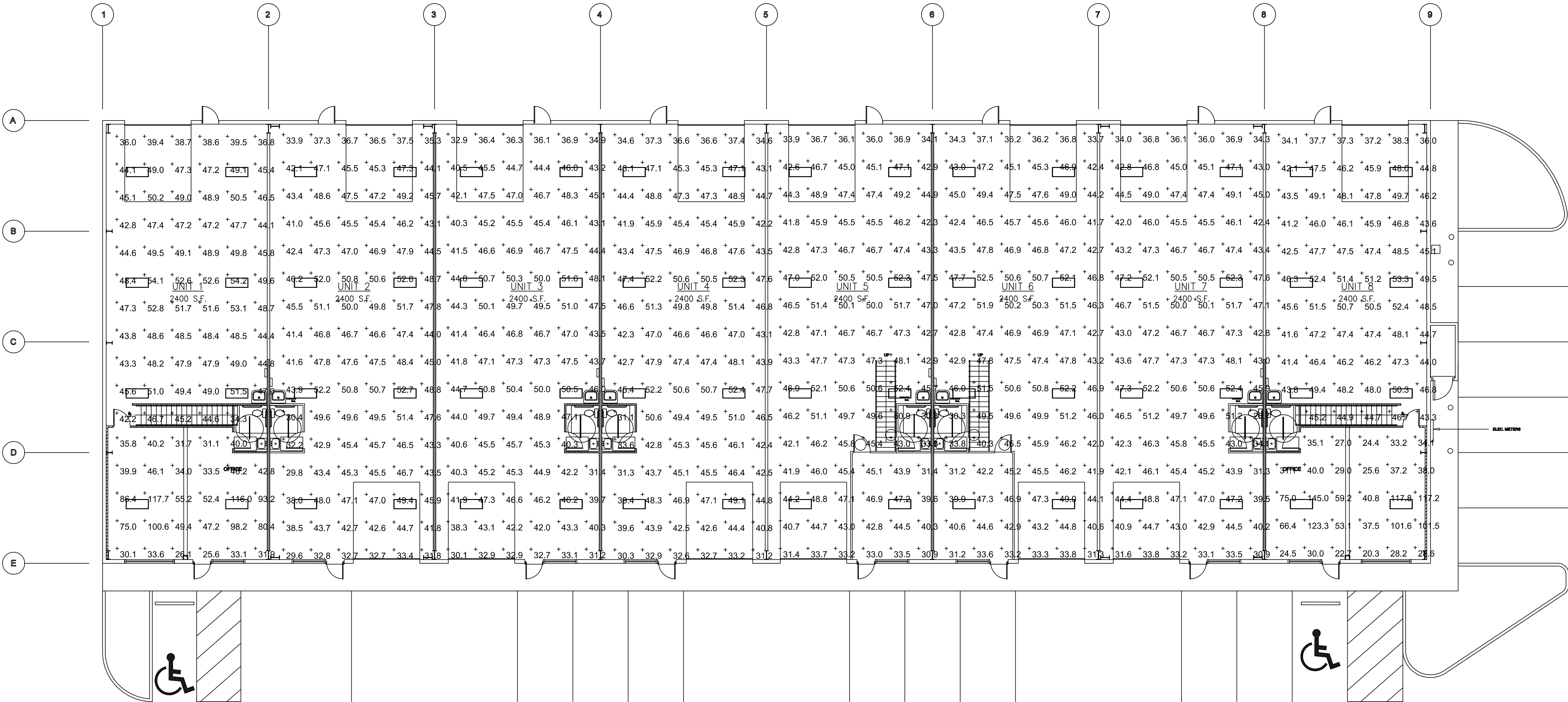
MECHANICAL



A Building Section
SCALE: 1/4" = 1'-0"

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	64	EATON (FORMER COOPER LIGHTING)	High Bay Luminaires for Commercial and Industrial Buildings	LHB-18-UNV-L840-CD-U		1	LHB-18-UNV-L840-CD-U.ies	17051	1	132.66
	B	8	EATON - METALUX (FORMER COOPER LIGHTING)	45T2L4040R	4' LED STRIP ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		1	45T2L4040R.ies	4433	1	39.09

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	46.9 fc	54.2 fc	33.7 fc	1.6:1	1.4:1
Calc Zone #2	+	54.3 fc	117.7 fc	25.6 fc	4.6:1	2.1:1
Calc Zone #3	+	44.0 fc	51.6 fc	30.1 fc	1.7:1	1.5:1



Building 7 Floor Plan
SCALE : 3/32" = 1'-0"

- NOTES:
- 16 PARKING SPACES PROVIDED. SEE CIVIL SITE PLAN FOR PARKING LAYOUT AND BUILDING SITE LOCATION.
 - SEE METAL BUILDING MANUFACTURER'S DRAWINGS FOR INFORMATION NOT SHOWN.



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LIGHTING PLAN
MARINE DRIVE BUSINESS PARK
BUILDING 7 - 8 BAYS
BELLINGHAM, WA

Revisions:

R/H JOB #:
1214
DRAWN BY:
BK
DATE:
11-26-19
SCALE:
AS NOTED

SHEET #:

E1-7

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GENERAL NOTES:

1. Code–International Building Code (IBC) 2015 Edition. Uniform Plumbing Code (UPC) 2015 Edition. International Fire Code (IFC) 2015 Edition.
2. Contractor to verify all dimensions prior to construction.
3. Do not scale these drawings for critical dimensions. All dimensions to face of studs and face of concrete unless otherwise noted.
4. All work shall conform to all Local and State Building Codes and Ordinances and be enforced by the Contractors at all times.
5. General Contractor shall provide pedestrian protection barricades and / or canopies as required by the Local Authorities or as necessary for pedestrian safety.
6. During construction, Contractors shall provide and maintain fire extinguishers as required by the Local Fire Department Field Inspector.
7. Contractor shall be responsible for floor patching, leveling, and preparation of floor finishes.
8. Maintain a minimum distance of 6” between finish grade and untreated framing materials.
9. Finish grade shall slope away from building toward drainage facilities.
10. Slope all decks, walks, and patios away from buildings.
11. All lumber must bear an approved grading stamp.
12. All wood in contact with earth or concrete shall be pressure treated.
13. All exposed exterior metal shall be painted, galvanized, or non–ferrous.
14. All glass in hazardous area and all glass within 18” of floor shall be approved safety glass (IBC 2406)
15. Exit doors serving an occupant load of more than 50 shall swing in the direction of exit travel. Opening force of exit doors on accessible route of travel shall not exceed 8.5 pounds. Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort. Flush or surface bolt latches are prohibited. If dead bolts are installed, the occupant must post a sign above the exit door stating that the door must remain unlocked during business hours.
16. Lighted exit signs shall be installed at all required exits with occupant loads exceeding 50. Alternate 12v power source required.
17. Interior wall and ceiling finish flame spread ratings shall conform to IBC Section 803.
18. Toilet room walls to be finished with moisture resistant materials to a minimum height of 48” above the floor.
19. Any / all new duct work shall be constructed, erected, and tested in accordance with the most restrictive local regulations and procedures detailed in Ashrae Handbook of Fundamentals or the applicable standards adopted by the Sheet Metal and Air Conditioning Contractors National Association.
20. Rooms not provided with an operable window of 1.5 sq. ft. shall provide a mechanical ventilation system capable of 5 air changes per hour.
21. Exhaust ducts shall be installed in 26 ga. metal ducts vented to an exterior terminal with approved back draft damper (R–4 Insul.)
22. Toilet rooms shall install mechanical ventilation capable of providing 50 CFM at .25 W.G. Floor and walls shall have smooth, non–absorbant surfaces.

WASHINGTON STATE ENERGY CODE REQUIREMENTS

1. All sinks shall be equipped with hot water flow control devices limiting flow to 0.5 GPM
2. Exterior joints around windows, doors, wall, and roof penetrations shall be sealed, caulked, gasketed, or weather–stripped to limit air leakage.
3. Vapor barriers with a minimum 1.0 perm rating shall be installed on the warm side of insulated components.
4. HVAC systems shall be sized no greater than 150% of the heating and cooling design loads.

FIRE PROTECTION NOTES

1. All required permits must be obtained from the Fire District as required.
2. All fixed fire protection equipment design drawings(sprinkler systems, standpipes, fire alarms) must be submitted to, and approved by the Fire District before this equipment is installed.
3. Required on–site fire hydrants must be installed, tested, and approved.
4. Fire Lane Sings – Fire access roads shall be marked with permanent “No Parking – Fire Lane” signs. Signs shall be 12” x 17”, have red letters on a white background, and shall comply with Federal Dept. of Transportation Standards for R8–31 signs. Signs shall be installed at the entrance to the fire lane and at 150 ft.
5. Premises Address – The premises address shall be prominently displayed on the street side of the building, Numbers shall be a minimum 8” in height with a principal stroke of not less than ¾” and shall contrast to their background.
6. Door signs – Individual room doors opening onto interior corridors shall be identified and have letters or numbers at least 1–1/2” high on a contrasting background. All doors having a 60 min. rating or more shall be identified with permanent signs on both sides of the door reading: “FIRE DOOR DO NOT OBSTRUCT”. Signs shall have letters at least 1” high on a contrasting background.
7. Portable Fire Extinguishers – Portable fire extinguishers, each having a minimum U.L. classification of 2A–10 BC, shall be provided adjacent to each exit and less than 75 feet travel distance between or every 3,000 sq. ft., whichever is greater. They shall be placed in conspicuous locations with the tops mounted less than 5 ft. above the floor. Where extinguishers are not visible in all directions, approved signs indicating their locations shall be installed. Recessed wall cabinets shall be installed to maintain fire resistive wall requirements.
8. Where rated opening protection is required, full rated assemblies bearing the label of a nationally recognized testing organization to be installed as per their listings and code requirements.
9. Fire damper assemblies including sleeves and installation procedures shall be approved by the building installation.
10. Plumbing and electrical penetrations through the fire assemblies shall be approved prior to cover.

BARRIER FREE CODE

1. SIGNAGE – Provide a sign (international symbol for access) at the following locations:

A. Primary public entrances

B. Accessible parking facilities (1 per space @ occupancy)

C. Primary building entrances

D. Accessible toilet rooms

E. Required accessible exits

F. Required accessible rooms

G. Signs for the visually impaired should identify accessible route of travel to toilet,= room, stairs, elevators, and hazardous occupancies, per IBC Section 1100
2. SITE ACCESS

A. Walks – 44” min. width, max slope 1/48, cross slope 1/48.

B. Ramps – 44” min. width, max slope 1/12, cross slope 1/48.

C. Curb Cuts – max slope 1/12 m cross slope 1/6.

D. Landings –1/30 ft. of ramp, min length 5ft.

E. Parking Spaces – max slope ¼8, to abut the accessible route of travel.
3. PRIMARY BUILDING ACCESS

A. Doors – min 32” clear opening, 8.5 pounds of force

B. Threshold –1/2” max height

C. Clearances – 18” clear on pull side of door, 12” on push side of door.

Architectural Drawings

- A1–8 Project Info & General Notes
- LA1 Site Plan w/ Landscape
- A2–8 Building Elevations
- A3–8 Floor Plan & Details
- A4–8 Typical Wall Section, Door and Window Schedules
- A5–8 Building Sections
- A6–8 Office Details
- A7–8 Loading Dock Details
- S1–8 Structural Notes & Typ Details
- S2–8 Foundation Plan – West
- S3–8 Foundation Plan – East
- S4–8 Foundation Details
- S5–8 Framing Details
- E1–8 Lighting Plan

A5–8 Building Sections

A6–8 Office Details

A7–8 Loading Dock Details

VP Buildings –Erection Drawings pages 1–43

Deferred Submittals

- FIRE SPRINKLER & ALARM PLANS
- CIVIL DRAWINGS SUBMITTED WITH LDP

Marine Drive Business Park

3161 Mercer Avenue
Bellingham, WA

Owner

La Mirage Kiffmann LLC
8380 Miramar Mall, Ste 233
San Diego, CA 92121
Helmut Kiffmann

Contractor/Design Services

R/H Construction
5597 Guide Meridian
Bellingham, WA, 98226
360–398–2800
Dustin Honcoop, Project Manager

Civil Engineer

Freeland & Associates, Inc.
220 W Champion St. Ste 200
Bellingham, WA 98225
360–650–1408
Tony Freeland PE.

Foundation Structural Engineer

King Works
600 Dupont St B
Bellingham, WA 98225
John R King

Geotechnical Engineer

Materials Testing & Consulting Inc.
805 Dupont St #5
Bellingham, WA, 98225
360–647–6061

Project Description

Construction of pre–engineered steel building for a range of light industrial and business uses.

Site Address: 3171 Mercer Ave.

Tax Parcel # : 380223 179490

Legal Description: :Parcel B Marine Drive Industrial Park Short Plat. NW ¼, S23, T38N, R3E, WM.

Lot Area: 4.73 Acres

Zoning: Whatcom County Light Impact Industrial(LII) Zone

Parking: Per WCC 20.80.580 Varies depending on use. See Site Plan.

Code Compliance

Occupancy Groups: F–1 & S–1

Construction Type: IIB (Non–combustible, Fire Sprinklers, Fire Alarm)

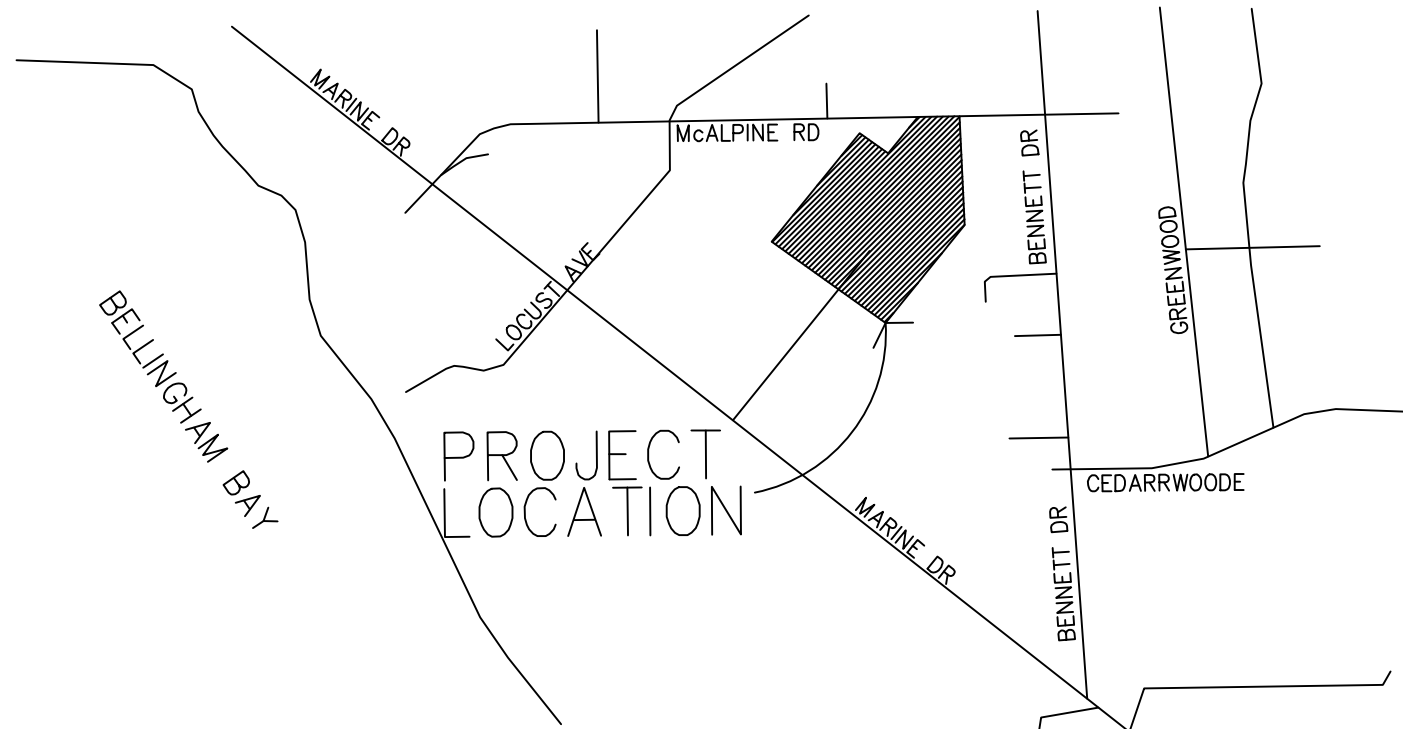
Fire Resistance Exterior walls: 10’</=X 30’=0 hours. IBC Table 602. Separation between buildings is >20’

Main floor areas:

Building 8 = 19,215 sq. ft.

Occupant Load:

Building 8 = 87



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PROJECT INFO & GENERAL NOTES

MARINE DRIVE BUSINESS PARK

BUILDING 8 – 8 BAYS
BELLINGHAM, WA

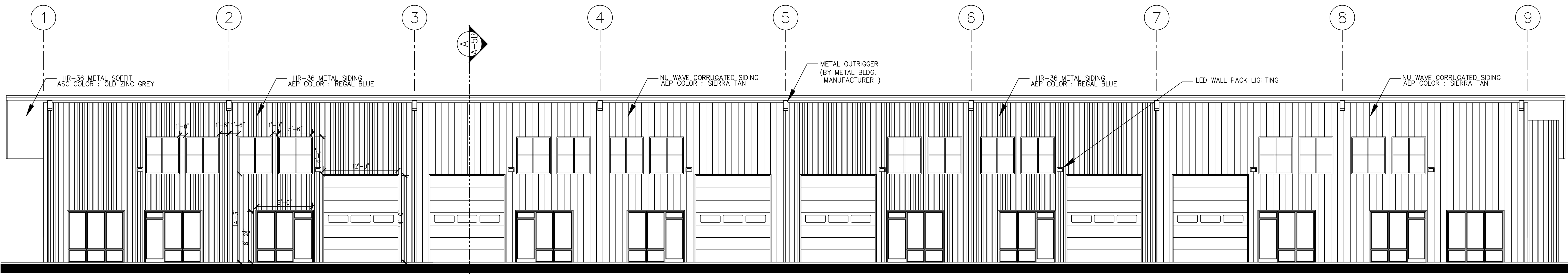
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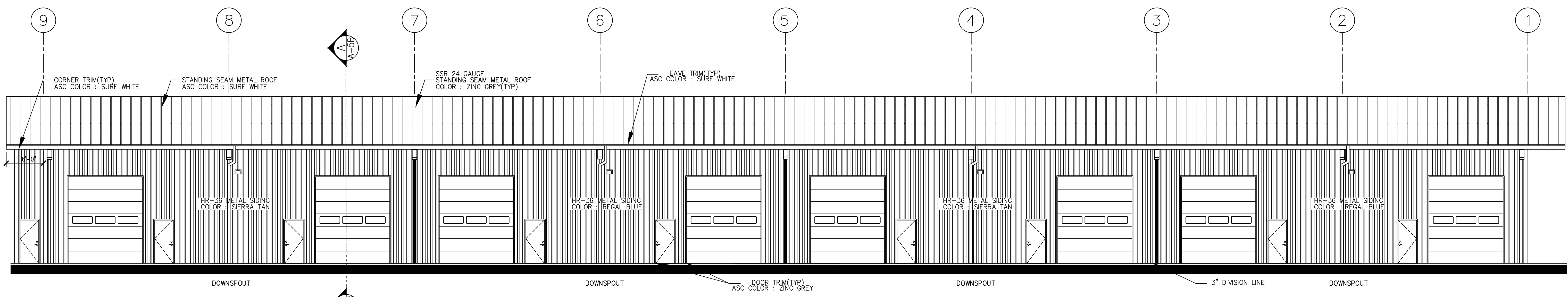
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Front Elevation

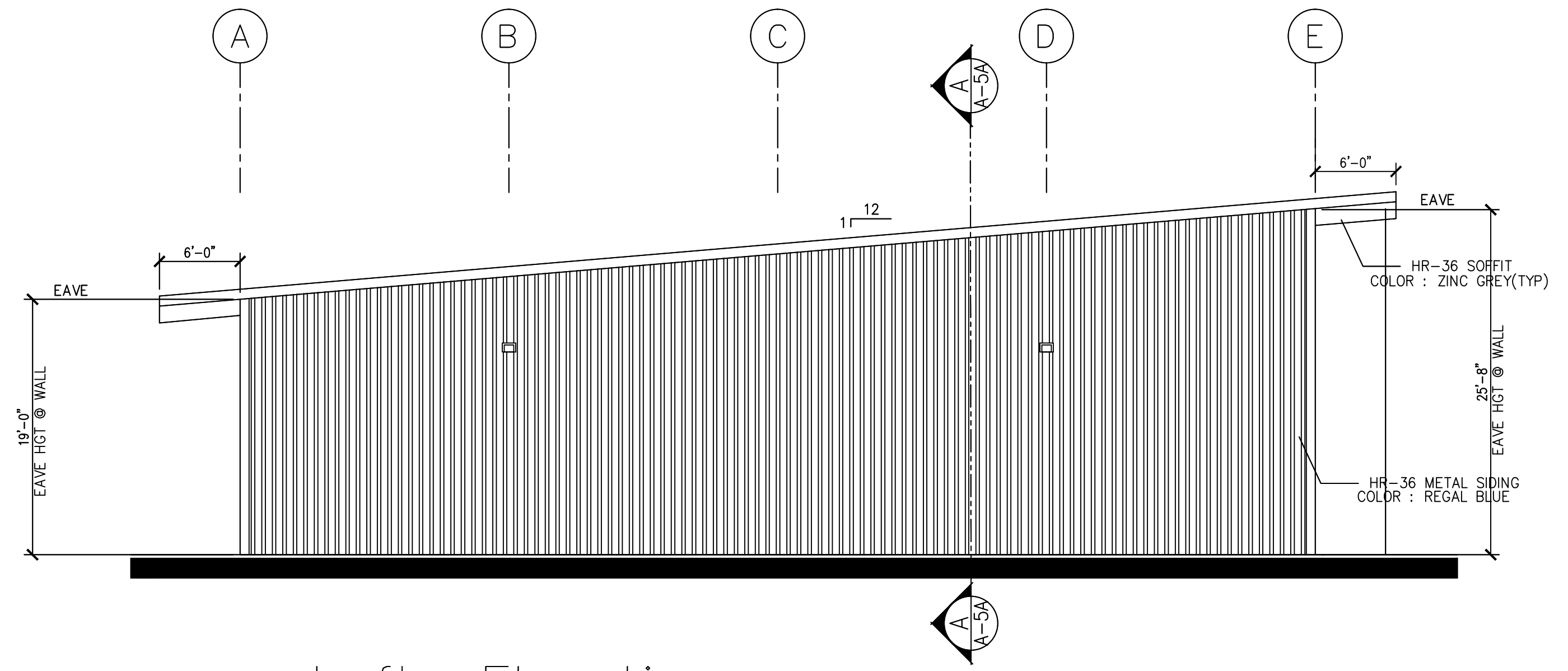
SCALE : 1/8" = 1'-0"

NOTE: SEE SITE PLAN FOR BUILDING LOCATION AND ORIENTATION

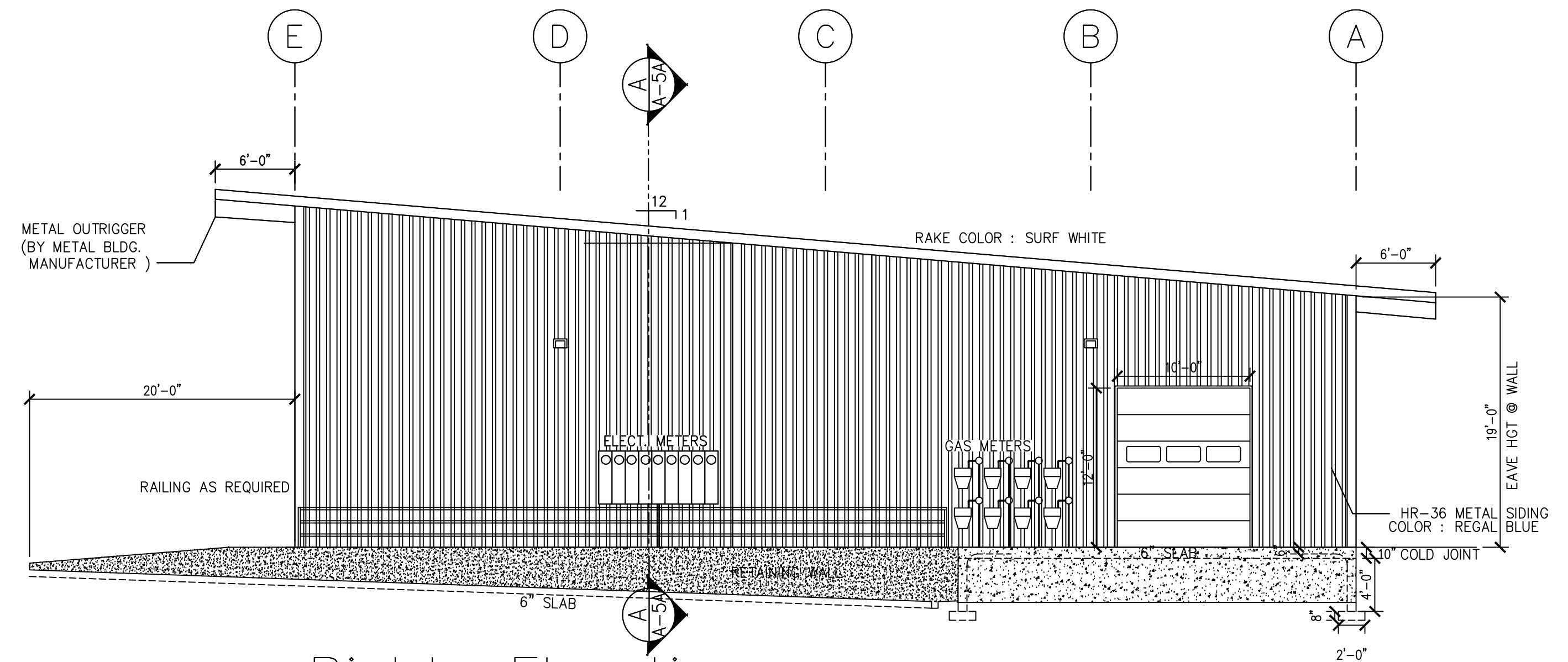


Back Elevation

SCALE : 1/8" = 1'-0"



Left Elevation



Right Elevation



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EXTERIOR ELEVATIONS

MARINE DRIVE BUSINESS PARK

BUILDING 8 - 8 BAYS

BELLINGHAM, WA

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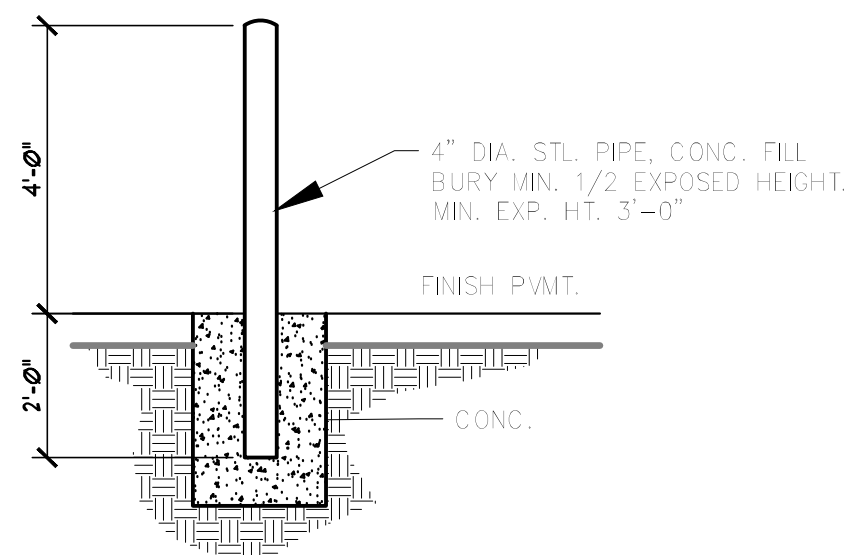
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SQUARE FOOTAGE	
UNIT SPACE	19200 Sq. Ft.
SHED FLR	15 Sq. Ft.
TOTAL	19215 Sq. Ft.



1 Bollard Detail
SCALE: 1/2" = 1'-0"

- NOTE:
1. VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 2. VERIFY EQUIPMENT SIZE, ELECTRICAL REQUIREMENTS AND PLUMBING CONNECTIONS PRIOR TO INSTALLATION.

ACCESSIBLE NOTES

ACCESSIBLE PARKING SPACES:

1. (1) REQUIRED FOR EVERY 20 PARKING SPACES
8' x 20' SIZE W/ 8' x 20' AISLE.

ENTRY:

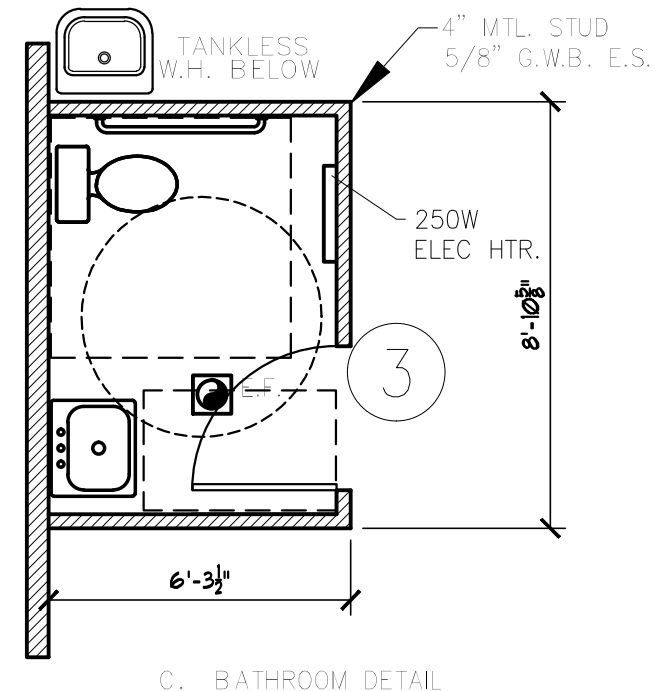
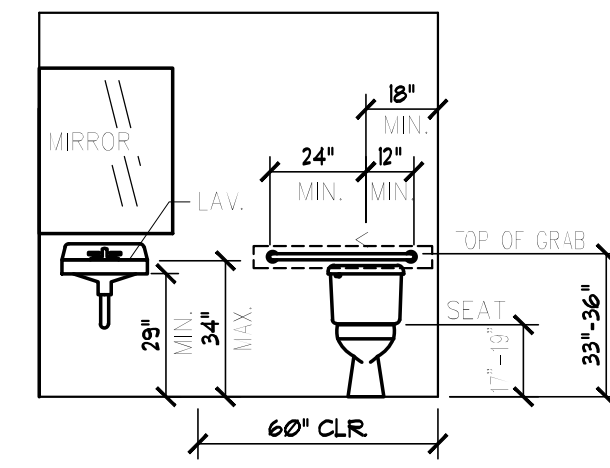
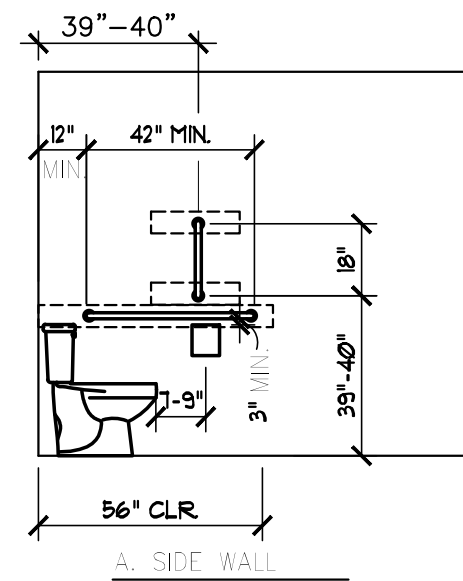
1. PROVIDE 60" x 60" CLEAR SPACE ON SWING SIDE OF DOOR.
2. 36" DOOR, 1/2" MAX. THRESHOLD.

ALL DOORS:

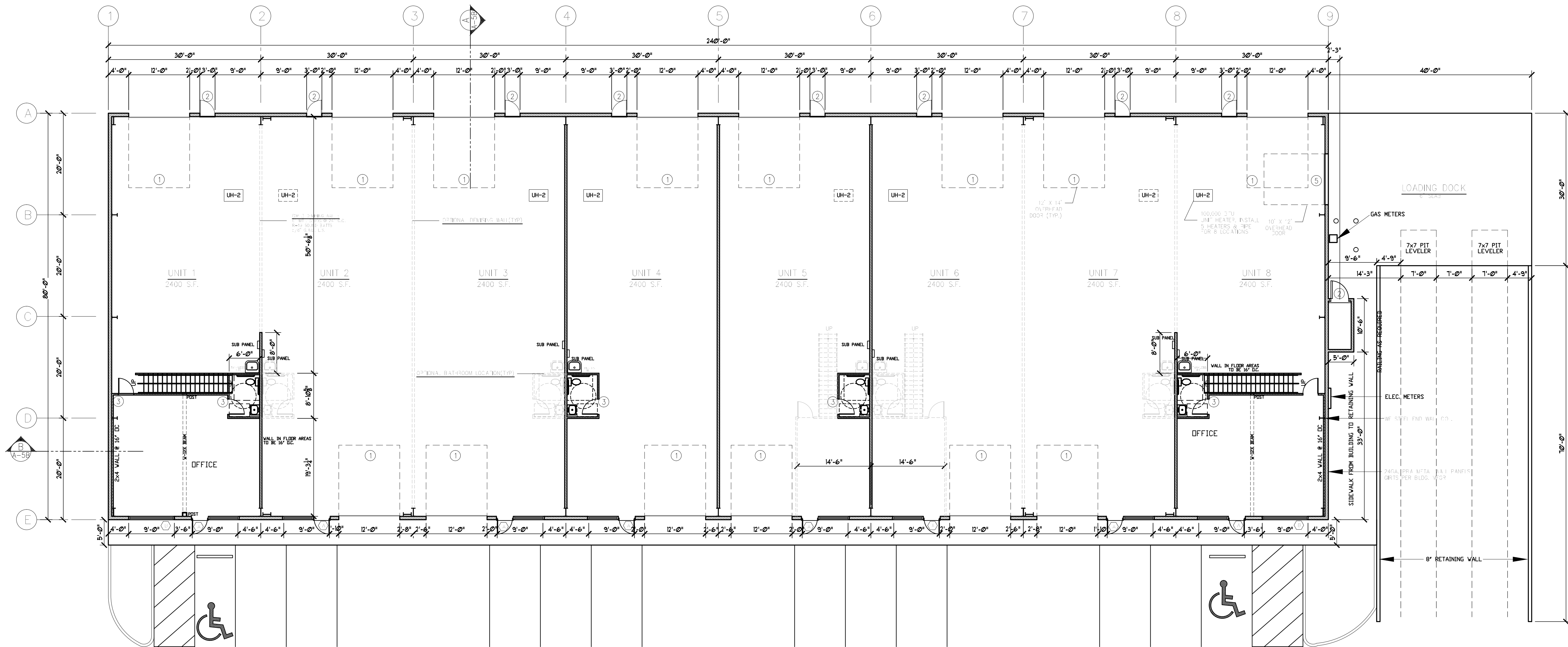
1. 36" WIDE DOORS MIN.
2. LEVER TYPE DOOR HARDWARE.

BATHROOM:

1. ALLOW 60" DIAMETER CLEAR AREA.
2. TOILET TO BE PLACED TO ALLOW GRAB BARS TO BE INSTALLED ON TWO SIDES, 12" FROM WALL TO CENTERLINE. TOILET ADAPTABLE TO ADJUST SEAT HEIGHT TO 17" - 19" ABOVE FLOOR.
3. PROVIDE GRAB BAR AT SHOWER AND TOILET LOCATIONS.



2 Accessible Toilet Room Details
SCALE: 1/4" = 1'-0"



DOTTED LINES ARE TO INDICATED POTENTIAL FUTURE IMPROVEMENTS

Building 8 Floor Plan
SCALE : 3/32" = 1'-0"

NOTES:

1. 16 PARKING SPACES PROVIDED. SEE CIVIL SITE PLAN FOR PARKING LAYOUT AND BUILDING SITE LOCATION.
2. SEE METAL BUILDING MANUFACTURER'S DRAWINGS FOR INFORMATION NOT SHOWN.



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MAIN FLOOR PLAN
MARINE DRIVE BUSINESS PARK

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BUILDING SECTIONS

MARINE DRIVE BUSINESS PARK

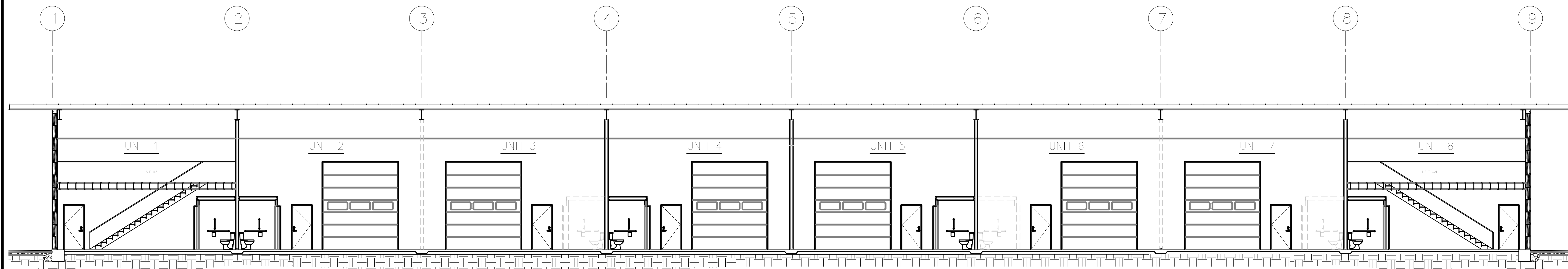
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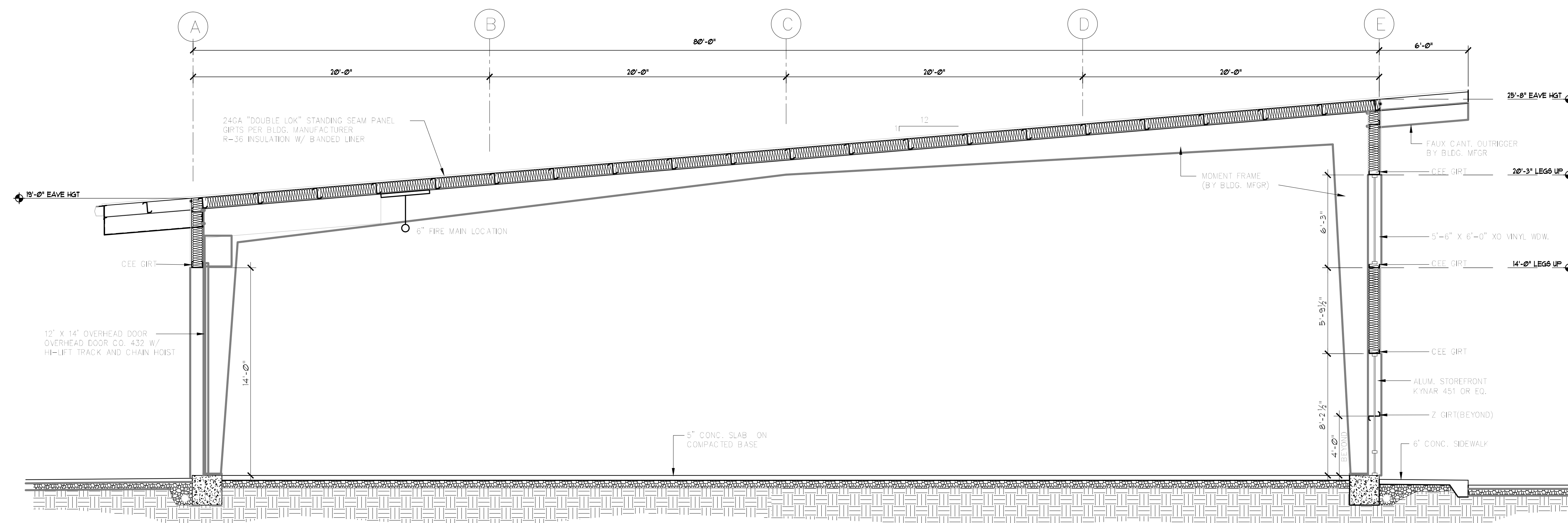
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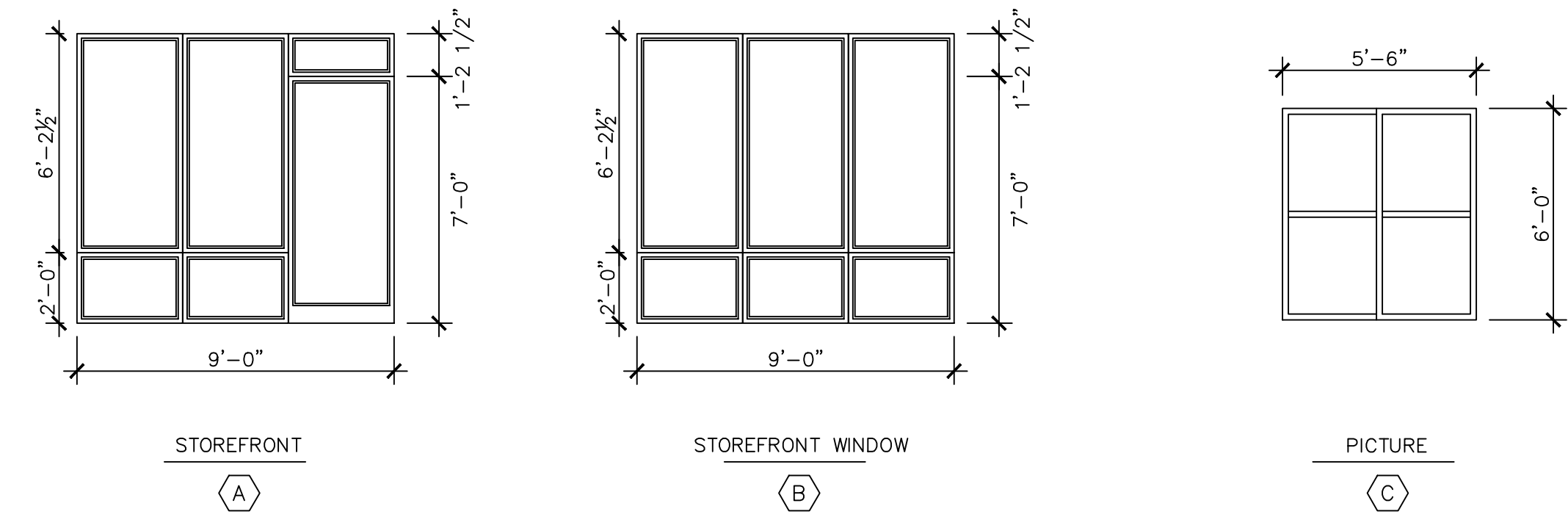


⊙ Longitudinal Building Section
SCALE: 1/8" = 1'-0"

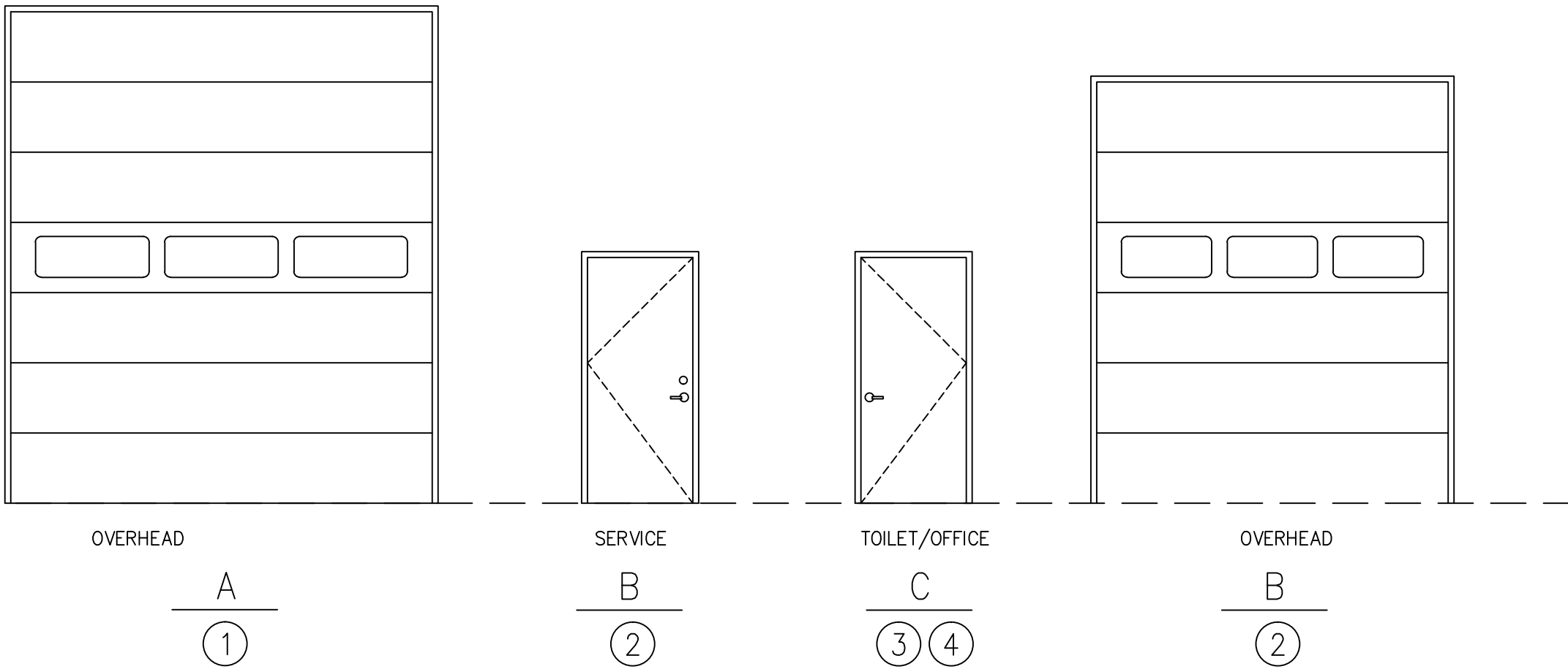


Typical Building Section
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE								
MARK	WIDE	HIGH	TYPE	INSUL.	FRAME	U VALUE	HARDWARE	REMARKS
(A)	9'-0"	8-2 1/2"		INSUL.	ALUM.	0.80		
(B)	9'-0"	8-2 1/2"		INSUL.	ALUM.	0.60		
(C)	5'-6"	6'-0"	3	INSUL.	VINYL	0.39		XO VINYL WINDOW, HEAD @ 21' A.F.F.
NOTES	1. VERIFY DOOR SWING WITH PLAN. 2. ARCHITECT TO APPROVE SHOP DRAWINGS PRIOR TO FABRICATION. 3. FIELD VERIFY ROUGH OPENING PRIOR TO FABRICATION.							



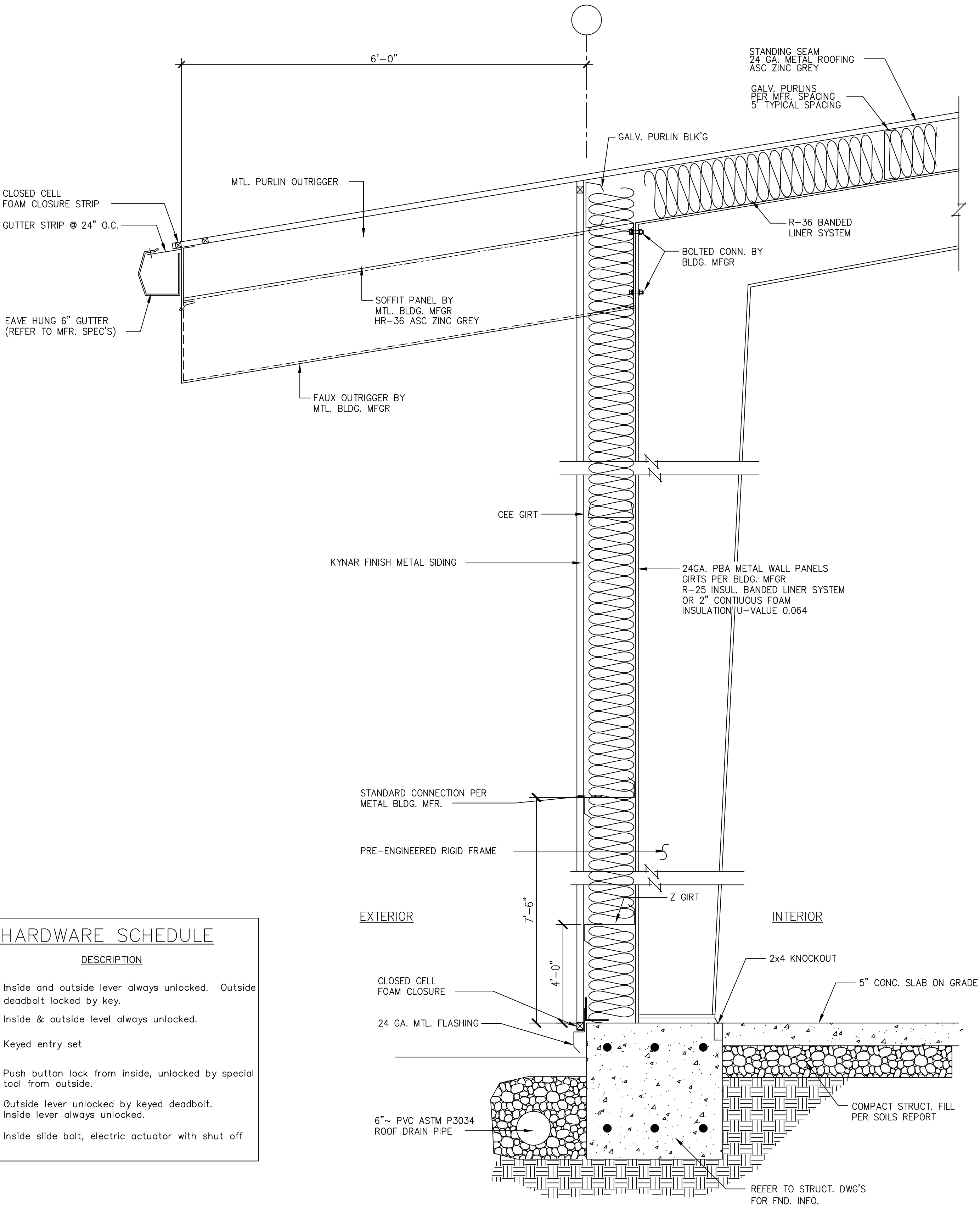
DOOR SCHEDULE										
MARK	WIDE	HIGH	THK.	TYPE	HDWRE	CONST. / FINISH	CLS.R.	T'HL'D	FRAME	REMARKS
1	12'-0"	14'-0"	-	A	-	METAL, INSULATED	YES	NO	MTL.	OVERHEAD DOOR 432 W/ HI-LIFT TRACK & CHAIN HOIST/R-10
2	3'-0"	7'-0"	1 3/4"	B	5	METAL, PAINT	NO	NO	MTL.	INSULATED METAL SERVICE DOOR
3	3'-0"	7'-0"	1 3/4"	B	4	PRE FINISHED WOOD	NO	NO	MTL.	TOILET ROOM DOOR,
4	3'-0"	7'-0"	1 3/4"	B	4	PRE FINISHED WOOD	NO	NO	MTL.	OFFICE
5	10'-0"	12'-0"	-	A	-	METAL, INSULATED	YES	NO	MTL.	OVERHEAD DOOR 432 W/ HI-LIFT TRACK & CHAIN HOIST/R-10
NOTE: DOOR FRAMES TO BE 16 GA. METAL. SEE PLAN FOR DOOR SWING DIRECTION.										



DOOR TYPES

DOOR HARDWARE SCHEDULE

FUNCTION	DESCRIPTION
① Storefront Inside and outside lever always unlocked. Outside Entry deadbolt locked by key.	
② Passage : Inside & outside level always unlocked.	
③ Office : Keyed entry set	
④ Privacy : Push button lock from inside, unlocked by special tool from outside.	
⑤ Storeroom Outside lever unlocked by keyed deadbolt. Inside lever always unlocked.	
⑥ O.H.D. Inside slide bolt, electric actuator with shut off	



① Low Eave Wall Section
SCALE: 1" = 1'-0"
TYPICAL EXCLUDING LINE "E"



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BUILDING SECTIONS & DETAILS
MARINE DRIVE BUSINESS PARK

BELLINGHAM, WA

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CORNER OFFICE W/ MEZZANINE, RESTROOM AND PARTIAL DEMISING WALL
MARINE DRIVE BUSINESS PARK

BELLINGHAM, WA

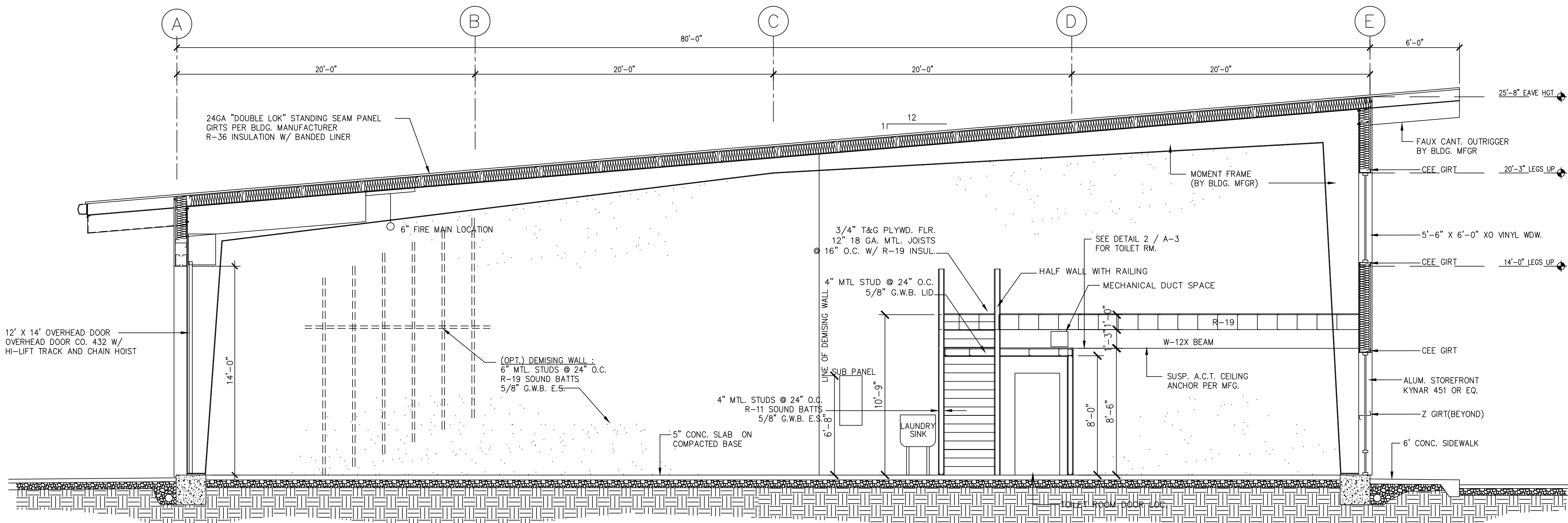
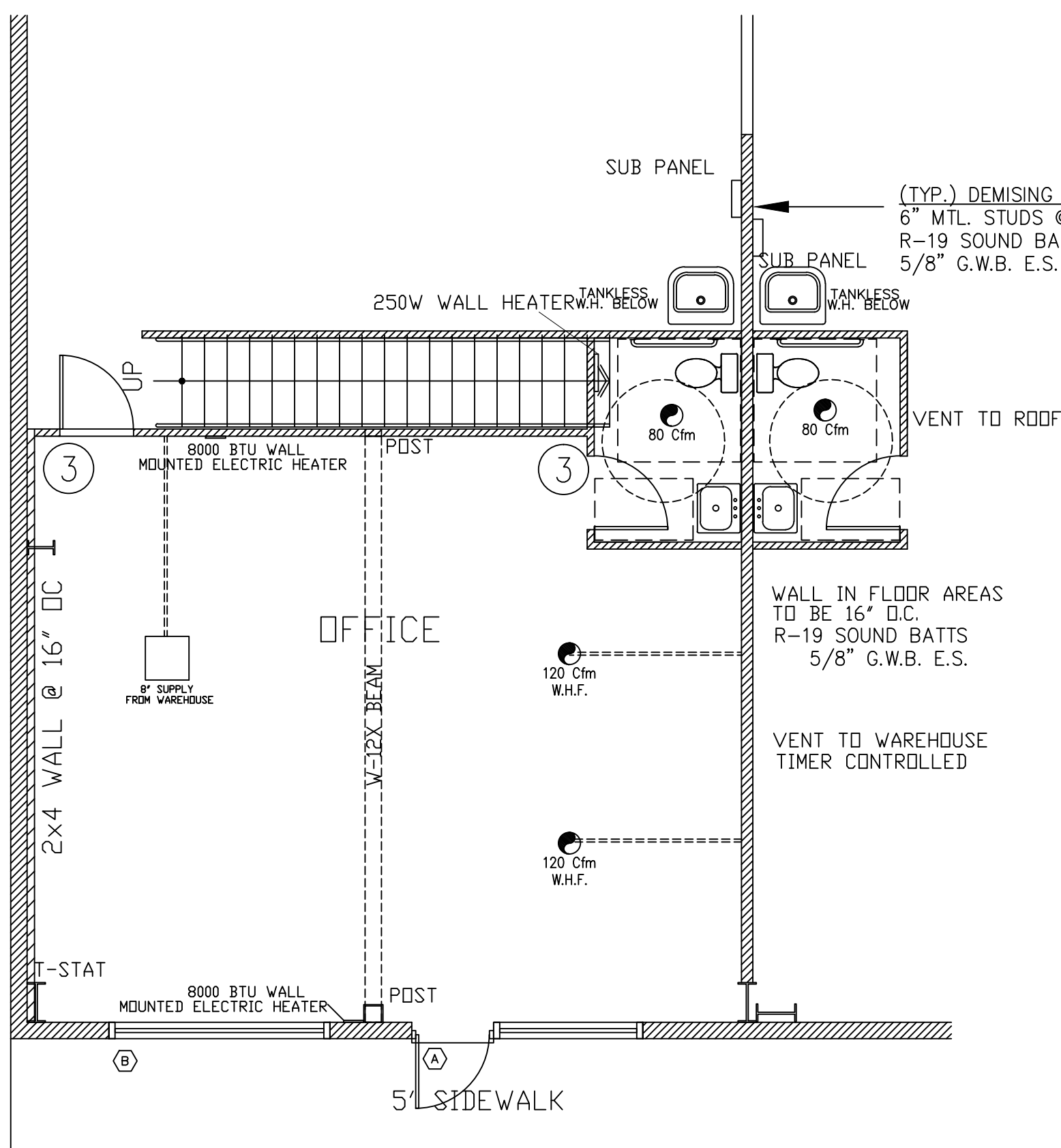
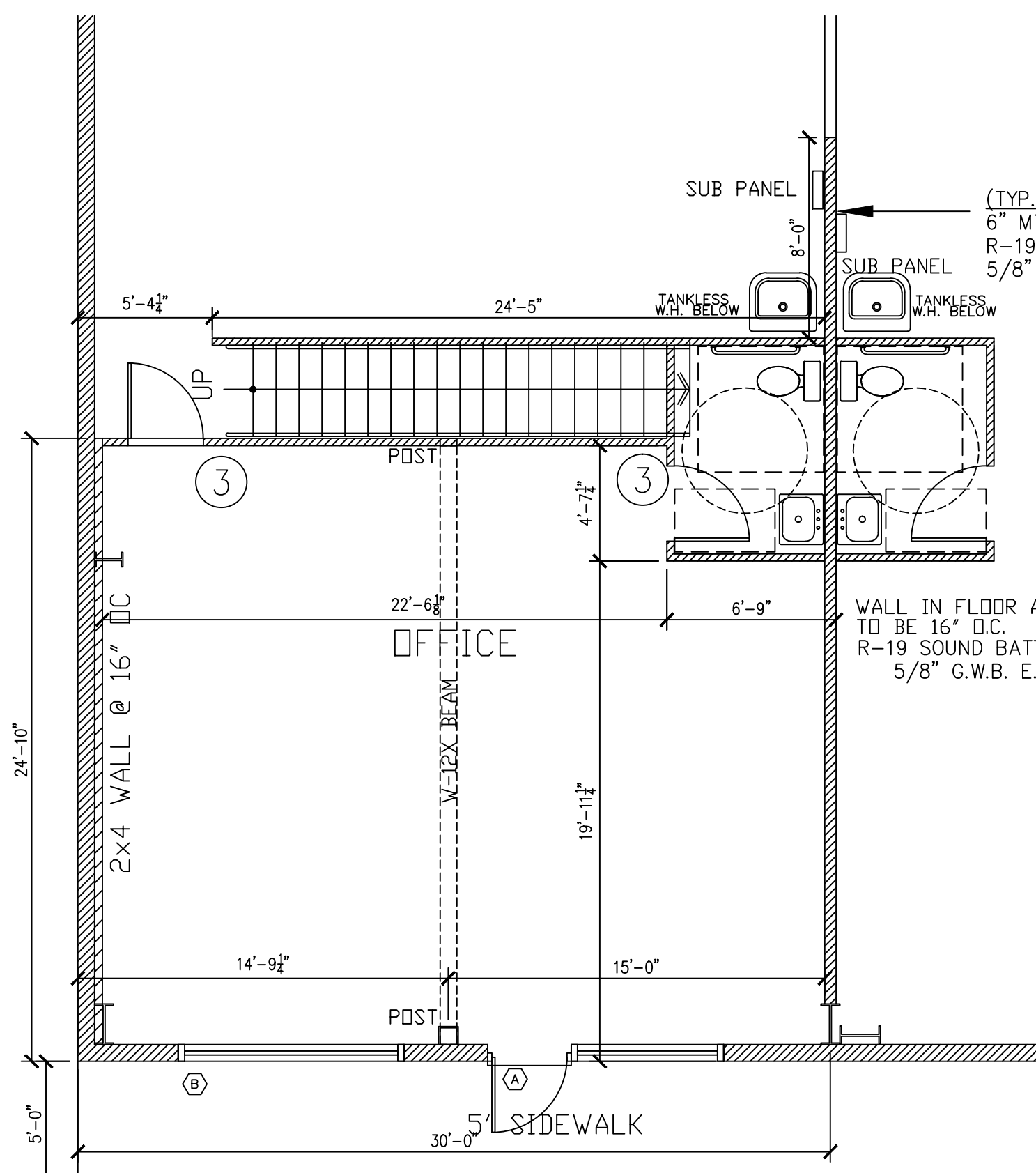
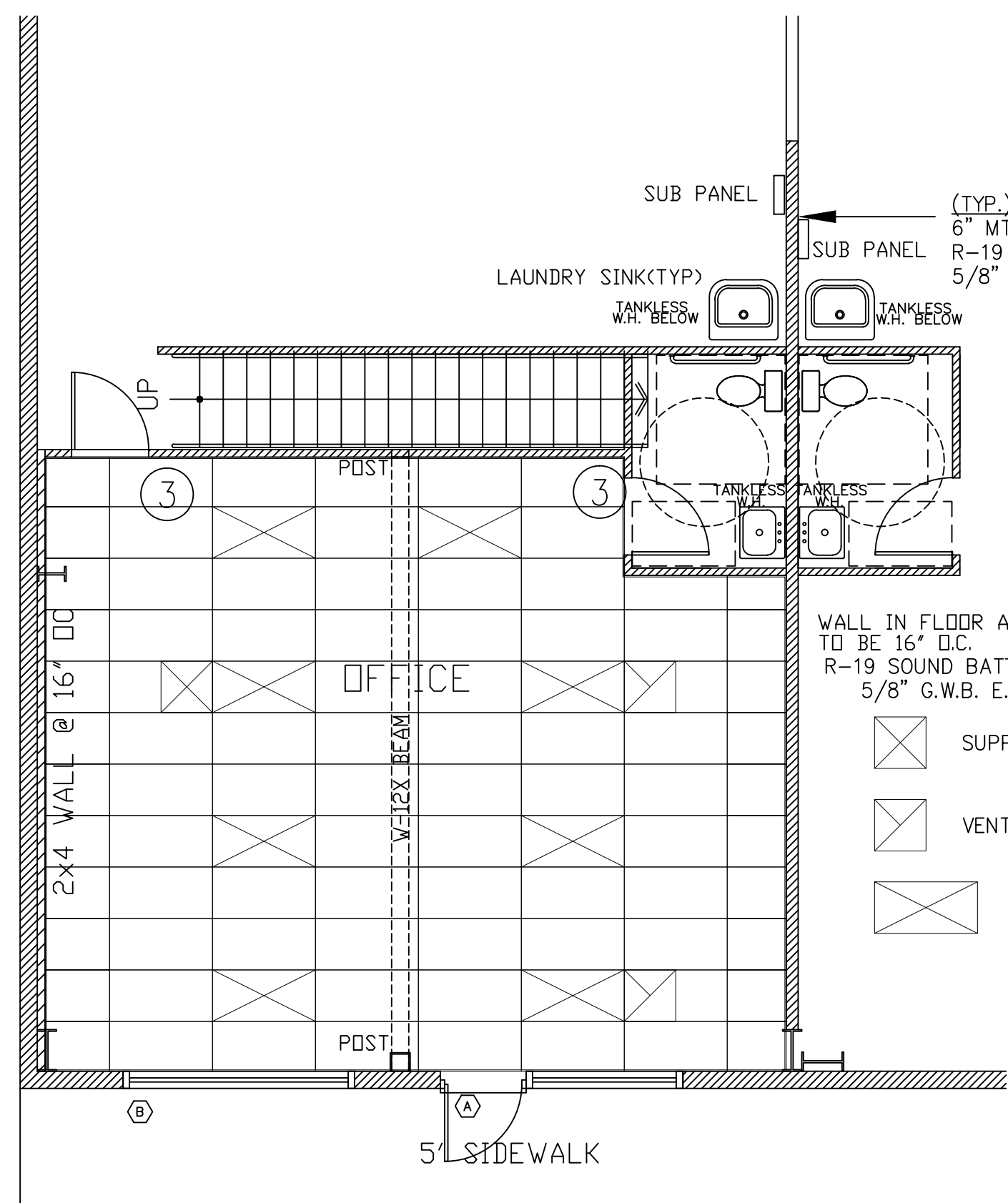
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A Building Section
SCALE: 1/4" = 1'-0"



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LOADING DOCK DETAILS
MARINE DRIVE BUSINESS PARK

BELLINGHAM, WA

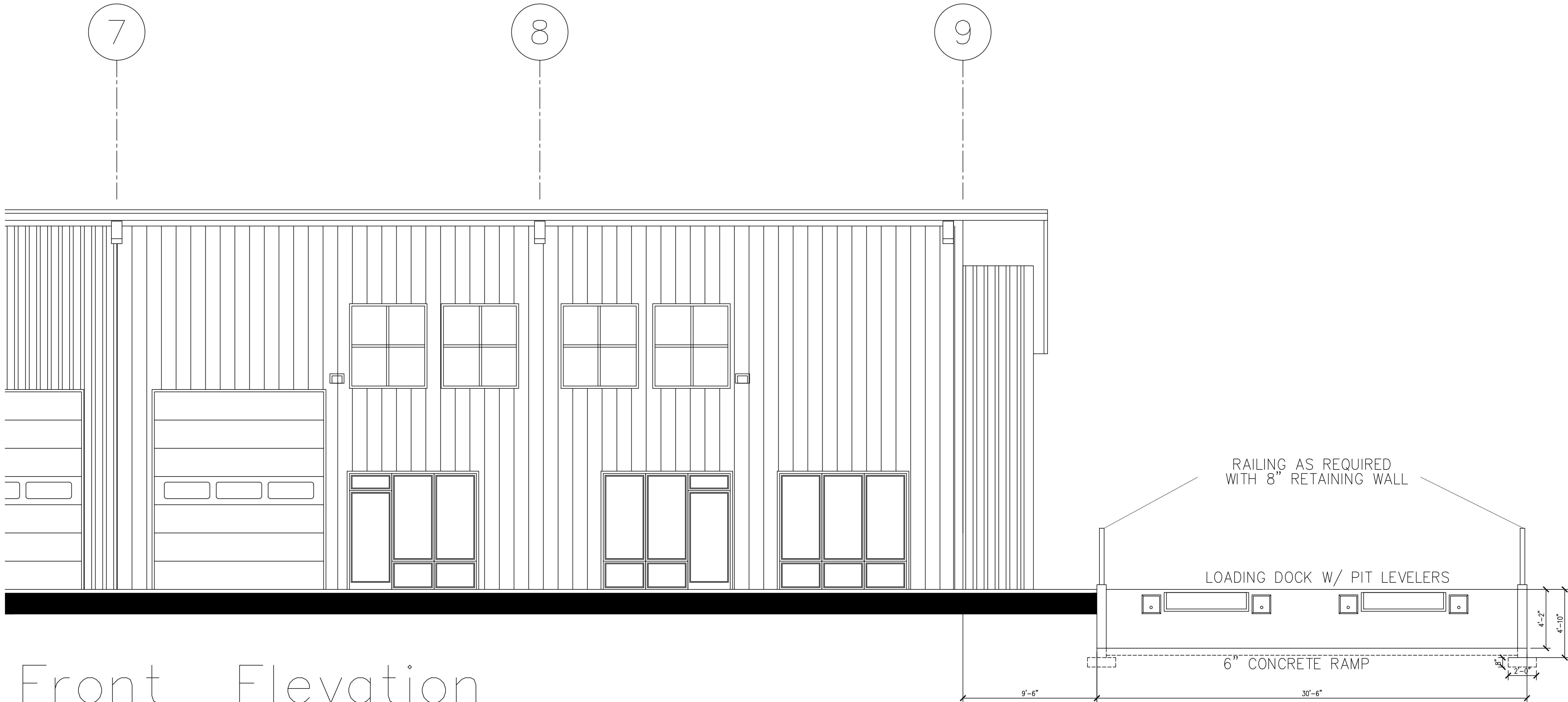
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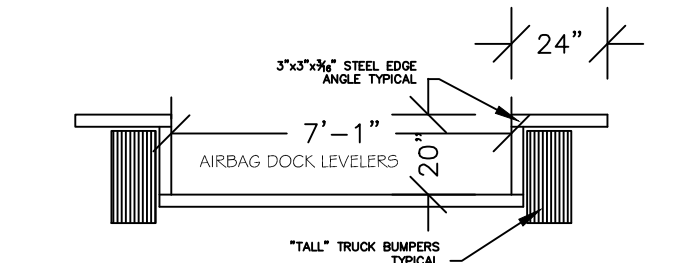
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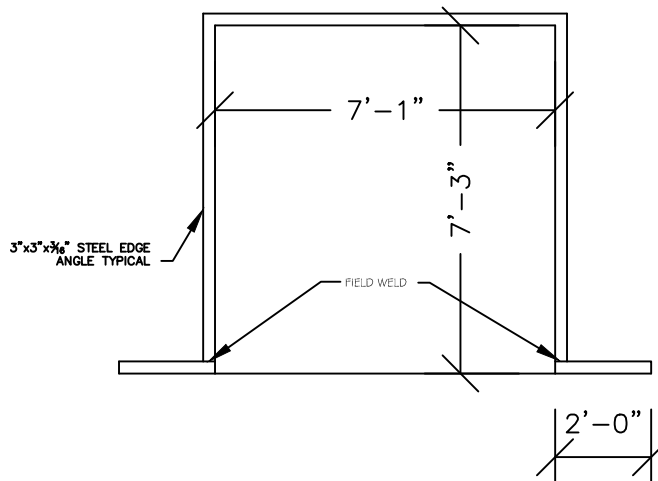
Front Elevation

SCALE : 1/8" = 1'-0"



EXT. VIEW DOCK LEVELER PIT 5

SCALE 3/4" = 1'-0"



PLAN VIEW DOCK LEVELER PIT

SCALE 3/4" = 1'-0"

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	64	EATON (FORMER COOPER LIGHTING)	High Bay Luminaires for Commercial and Industrial Buildings	LHB-18-UNV-L840-CD-U		1	LHB-18-UNV-L840-CD-U.ies	17051	1	132.66
	B	8	EATON - METALUX (FORMER COOPER LIGHTING)	45T2L4040R	4" LED STRIP ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		1	45T2L4040R.ies	4433	1	39.09

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	46.9 fc	54.2 fc	33.7 fc	1.6:1	1.4:1
Calc Zone #2	+	54.3 fc	117.7 fc	25.6 fc	4.6:1	2.1:1
Calc Zone #3	+	44.0 fc	51.6 fc	30.1 fc	1.7:1	1.5:1



Building 8 Floor Plan

SCALE : 3/32" = 1'-0"

- NOTES:
1. 16 PARKING SPACES PROVIDED. SEE CIVIL SITE PLAN FOR PARKING LAYOUT AND BUILDING SITE LOCATION.
 2. SEE METAL BUILDING MANUFACTURER'S DRAWINGS FOR INFORMATION NOT SHOWN.



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IF THIS DRAWING IS LESS THAN 24"x36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

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LIGHTING PLAN

MARINE DRIVE BUSINESS PARK

Revisions:

R/H JOB #:
1214
DRAWN BY:
BK
DATE:
11-26-19
SCALE:
AS NOTED

SHEET #:

E1-8

PERMIT SET

PHASE II AVAILABLE LEASE SPACE

3161 MERCER AVENUE

	<u>Sq. Ft.</u>	<u>Improvements</u>
Units 101 & 102	5,700	Includes Mezzanine & Toilet
Unit 103	2,400	Includes Toilet
Units 104 & 105	4,800	Includes Toilet
Units 106, 107, 108	<u>8,100</u>	Includes Mezzanine & Toilet
TOTAL SQ. FT.	21,000	

3171 MERCER AVENUE

	<u>Sq. Ft.</u>	<u>Improvements</u>
Units 101, 102, 103	8,100	Includes Mezzanine & Toilet
Unit 104	2,400	Includes Toilet
Units 105, 106, 107, 108	<u>10,500</u>	Includes Mezzanine & Toilet
TOTAL SQ. FT.	21,000	