

RITE AID #5237 - Tenant Improvement

5227 Northwest Avenue
Bellingham, WA 98225

[illegible]

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RITE AID #5237
3227 Northwest Avenue
Bellingham, WA 98225



GENERAL
WELL BEING
REMODEL

8-12-2014
8-12-2014

SUBMIT FOR PERMIT
ISSUE FOR BID

RECEIVED

AUG 12 2014

CITY OF BELLINGHAM
BUILDING SERVICES

Product No.	14-623
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OVER SHEET

A-000

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BLD2014-00396
PLM2014-00245

AB	ANCHOR BOLT	JAN	JANITOR
ACT	ACOUSTICAL CEILING TILE	JST	JOIST
AW	ACOUSTICAL WALLCOVERING	JT	JOINT
AC	ACOUSTICAL		
ADJ	ADJACENT, ADJUSTABLE	KP	KICK PLATE
AF	ABOVE FINISHED FLOOR		
AL	ALUMINUM	MDG	MOLDING
ALT	ALTERNATE	MACH	MACHINE
AP	ACCESS PANEL	MATL	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MECH	MECHANICAL
AF	AWNING FABRIC	MEMB	MEMBRANE
		MET, WTL	METAL
B	BASE	MFR	MANUFACTURER
BD	BOARD	MGR	MANAGER
BG	BUMPER GUARD	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCK	MIR	MIRROR
BLKG	BLOCKING	MISC	MISCELLANEOUS
BSM	BASEMENT	MO	MASONRY OPENING
BOF	BOTTOM OF FOOTING	M/R	MOISTURE RESISTANT
BOT	BOTTOM	MTD	MOUNTED
		MTO	MEETING, MOUNTING
CAB	CABINET	MUL	MULLION
CB	CONCRETE BLOCK	NEO	NEOPRENE
CDV	COMBINATION DRAIN AND VENT	NIC	NOT IN CONTRACT
CEM	CEMENT	NO	NO
CER	CERAMIC	NOM	NUMBER
CF	CONCRETE FINISH	NOT	NOT TO SCALE
CFM	COLD FORMED METAL FRAMING	NTS	NOT TO SCALE
CG	CORNER GUARD	OA	OVERALL
CJ	CONTROL JOINT	OBS	OBSCURE
CL	CLOSET	OC	ON CENTER
CLKG	CAULKING	OD	OUTSIDE DIAMETER
CLG	CEILING	OFF	OFFICE
CLR	CLEAR	OPNG	OPENING
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN		
COM	CUSTOM HUTCH	P	PAINT
CONC	CONCRETE	PL	PLATE
CONC	CONCRETE	P LAM	PLASTIC LAMINATE
CONSTR	CONSTRUCTION	PLAS	PLASTER
CONT	CONTINUOUS	PLYWD	PLYWOOD
CONTR	CONTRACTOR	PAN	PARTITION MOUNTED
CORR	CORROSION	PANL	PANEL, PANELBOARD
CPT	CARPET	PP	PREFINISHED PANELS
CTR	CENTRIC TILE	PR	PROJECT
		PROP	PROPERTY
DN	DOWN	P.T.	PRESSURE TREATED
DET	DETAIL	PT	PAPER TOWEL DISPENSER
DIA	DIAMETER	PTD	PARTITION
DIFF	DIFFUSER	PNR	POWER
DM	DIMENSION		
DISP	DISPENSER	QT	QUARTY TILE
DR	DOOR	QTY	QUANTITY
DWG(S)	DRAWING, DRAWINGS		
DWR	DRAINER		
		R	RISER
E	EAST	RAD	RADIUS
EAS	EXTERIOR INSULATION AND FINISH SYSTEM	RCM	REGIONAL CONSTRUCTION MANAGER
		RD	ROOF DRAIN
EJ	ELEV	REC	RECESSED
EL	ELEV	REF	REFLECTANCE
ELEC	ELECTRIC, ELECTRICAL	REFL	REFLECTED
ELEV	ELEVATOR	REIN	REINFORCED
ENC	ENCLOSURE	REQ	REQUIRED
ENCL	ENCLOSURE	RESL	RESILIENT
EQUIP	EQUIPMENT	RF	RESILIENT FLOORING
ENC	ELECTRIC WATER COOLER	RM	ROUGH OPENING
EXH	EXHAUST	RO	ROUGH OPENING
EXIST	EXISTING	RWL	RAIN WATER LEADER
EXP	EXPANSION, EXPOSED		
EXT	EXTERIOR	S	SOUTH
		SAN	SANITARY
FA	FIRE ALARM	SC	SOLID CORE
FB	FIRE ALARM	SCHED	SCHEDULE
FCO	FLOOR CLEANOUT	SD	SOAP DISPENSER
FD	FLOOR DRAIN	SECT	SECTION
FDN	FOUNDATION	SF	SQUARE FEET
FE	FIRE EXTINGUISHER	SH	SHELF
FEC	FIRE EXTINGUISHER CABINET	SHI	SHEET
FW	FIXTURE	SM	SMALLER
FIX, FIXT	FIXTURE	SL	SLIDING
FL, FLR	FLOOR	SMR	SURFACE MOUNTED
FLASH	FLASHING	SPEC	SPECIFICATION
FRTW	FIRE RESISTANT TREATED WOOD	SQ	SQUARE
FLUOR	FLUORESCENT	SST	STAINLESS STEEL
FCC	FACE OF CONCRETE	ST	STANDARD
FOF	FACE OF FINISH	STD	STEEL
FOS	FACE OF STUDS	STD	STANDARD
FW	FACE OF WALL	STOR	STORAGE
FR	FIRE RATED RETARDANT	STRUC	STRUCTURAL
FRP	FIBERGLASS REINFORCED POLYESTER PANEL	SUSP	SUSPENDED
FRT	FIRE RETARDANT TREATED	SYMM	SYMMETRICAL
FT	FOOT, FEET	SWBS	SOLID WHITE STOP BAR
FTG	FOOTING	TEL	TELEPHONE
FLURR	FURRING	TEMP	TEMPERED, TEMPORARY
FW	FRIG SERVICE	THK	THICK, THICKNESS
GR	GENERAL CONTRACTOR	TOS	TOP OF WALL
GRT	GROUT	TOW	TOILET TISSUE DISPENSER
GA	GAUGE	TT	TYPICAL
GALV	GALVANIZED	UNF	UNFINISHED
GB	GRAB BAR	UNO	UNLESS NOTED OTHERWISE
GEN	GENERATOR		
GL	GLASS	VCT	VINYL COMPOSITION TILE
GND, GRND	GROUND	VERT	VERTICAL
GWB	GYP/SM WALLBOARD	VEST	VESTIBULE
GYP	GYP/SM	VIR	VENT THROUGH ROOF
HB	HOSE BIBB	W	WEST
HC	HANDICAPPED	W/	WITH
HCT	HANDICAPPED TOILET	WAT	WATER
HD	HEAD	WC	WALL COVERING
HDW	HARDWARE	WO	WOOD
HM	HOLLOW METAL	WOW	WINDOW
HORIZ	HORIZONTAL	WF	WOOD FLOOR
HR	HEIGHT	W/O	WALK-OFF MAT
HVAC	HVAC	W/O	WITHOUT
		WP	WATERPROOF
ID	INSIDE DIAMETER	WR	WATER RESISTANT
IE	INVERT ELEVATION	WT	WEIGHT
IN	INCH		
INSUL	INSULATION		
IR	IRRIGATION		

PROJECT LOCATION

STORE #5237
RITE AID TENANT IMPROVEMENT
3227 NORTHWEST AVENUE
BELLINGHAM, WA 98225

REFERENCE CODES

2012 IBC, WAC 51-50 AMENDMENTS
2012 IMC, WAC 51-52 AMENDMENTS
2012 IEBC
2012 UFC, WAC 51-56 & 51-57
2014 NEC
2012 NFPA (NFPA 54) WAC 51-52 AMENDMENTS
2012 IECC, WAC 51-11C & 51-11R
ICC/ANSI 117.1-2009

GROSS TENANT SPACE:

FIRST FLOOR	16,235 SF
MEZZ	0 SF
TOTAL	16,235 SF

USE GROUP

MERCANTILE (M)

TYPE OF CONSTRUCTION

VB WITH SPRINKLERS

ALLOWABLE HEIGHT & BUILDING AREA

BUILDING TYPE VB CONSTRUCTION = 9,000 SQ FT / 2 STORIES
HEIGHT INCREASE DUE TO SPRINKLERS = NA
AREA INCREASE DUE TO FONTAGE = NA
AREA INCREASE DUE TO SPRINKLERS = +27,000 (300%)

TOTAL AREA ALLOWED = 36,000 SQ FT > 16,235 SF

MAXIMUM ALLOWABLE FLAME SPREAD

SPRINKLERED BUILDINGS
VERTICAL EXITS AND EXIT PASSAGEWAYS CLASS B
EXIT ACCESS CORRIDORS AND OTHER EXITS CLASS C
ROOMS AND ENCLOSED SPACES CLASS C

OCCUPANT LOAD

SQ FT PER OCCUPANT = SALES FLOOR = 14,225 / 30 OCCUPANT = 474
OFFICE / SUPPORT 1,056 sq ft / 100 STOCK ROOM = 954 sq ft / 300 OCCUPANT = 10
MEZZANINE: NA
TOTAL OCCUPANT LOAD 16,235 SF 487 PEOPLE

MEANS OF EGRESS

OCCUPANT LOAD SALES FLOOR = 487 OCCUPANTS
487 X 20 = 98 INCHES OF WIDTH REQUIRED, 120" PROVIDED
NUMBER OF REQUIRED EXITS FROM SALES FLOOR = 2 EXITS (<500 OCCUP. LOAD)
REQUIRED WIDTH = 98 INCHES, MIN

EXITS PROVIDED: 2 EXITS WITH 120" OF WIDTH, THEREFORE, OK
STOCK ROOM REQUIRES (1) EXIT DUE TO OCCUPANT LOAD UNDER 50, 2 PROVIDED

REQUIRED EXIT WIDTH FOR STOCK ROOM = 3 X .20 = .6" OR 36" MIN

EXIT PROVIDED: 2 EXITS PROVIDED, 72" WIDTH, THEREFORE OK

MINIMUM NUMBER OF REQUIRED TOILET FIXTURES

EXIST TO REMAIN

FIRE RATED ASSEMBLIES

VERIFY EXISTING RATING & MAINTAIN RATINGS IF APPLICABLE

FIRE PROTECTION SYSTEMS

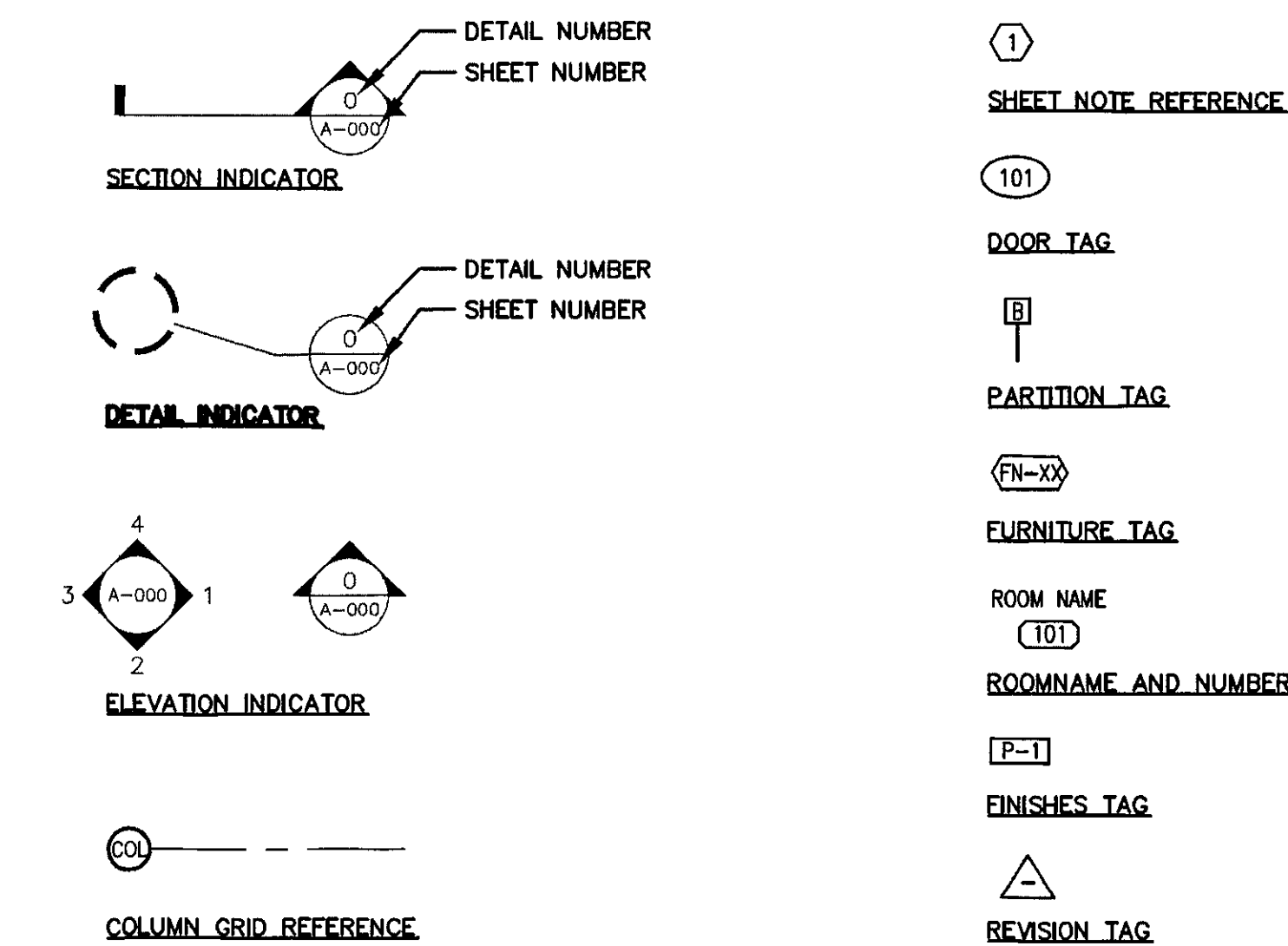
VERIFY EXISTING SPRINKLERS, FIRE ALARM SYSTEMS, MAINTAIN EXISTING SYSTEMS AS REQUIRED

SQUARE FOOTAGE OF RENOVATION

RENOVATED GROSS AREA: FLOORING, PRINTER COUNTER RELOCATION
EQUATES TO: NEW CONSULTATION ROOM 111 SF + 3010 = 3,121 SF

D5 CODE DATA

NONE



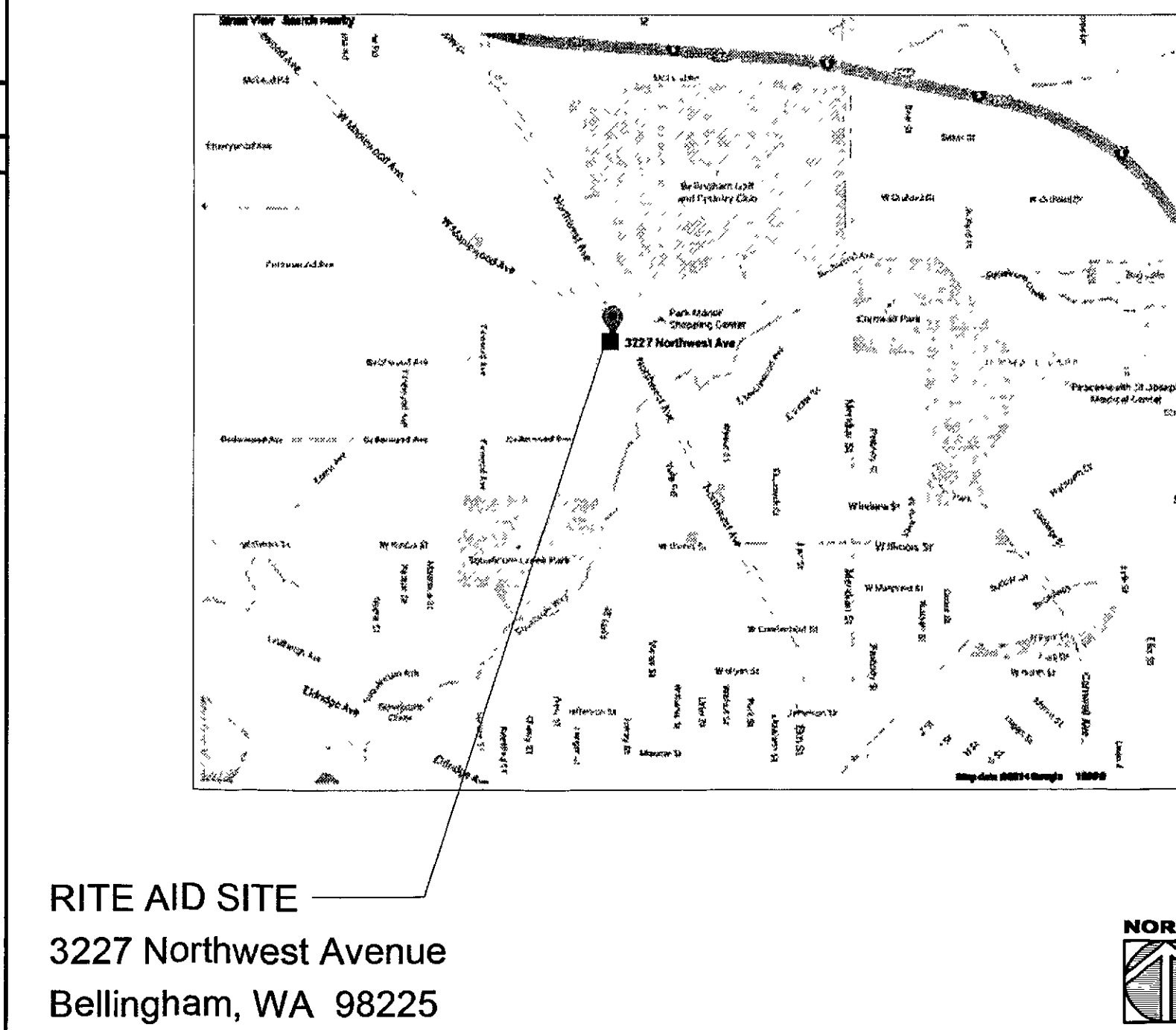
A5 SYMBOLS LEGEND

NONE

RITE AID SITE
3227 Northwest Avenue
Bellingham, WA 98225

F9 SITE PLAN

NONE



A9 VICINITY MAP

NONE

PROPERTY ID:

3303

GEOGRAPHIC ID:

0303155

ZONING:

COMMERCIAL

SITE AREA:

11 ACRES +/-

D13 PROJECT INFORMATION

NONE

REGIONAL CONSTRUCTION MANAGER:

COMPANY RITE AID CORPORATION
10906 NE 38TH CT
VANCOUVER, WA 98686
714-267-9576

CURTIS DYCK, REG CONST MGR
GENERAL CONTRACTOR

COMPANY TO BE DETERMINED

ARCHITECT:

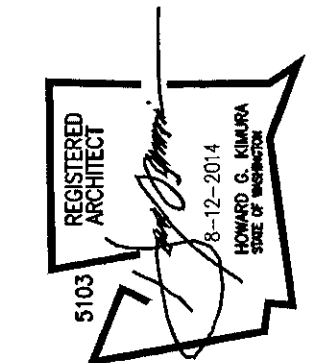
COMPANY HG KIMURA ARCHITECT, PLLC
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A13 PROJECT TEAM

NONE

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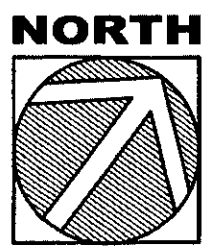
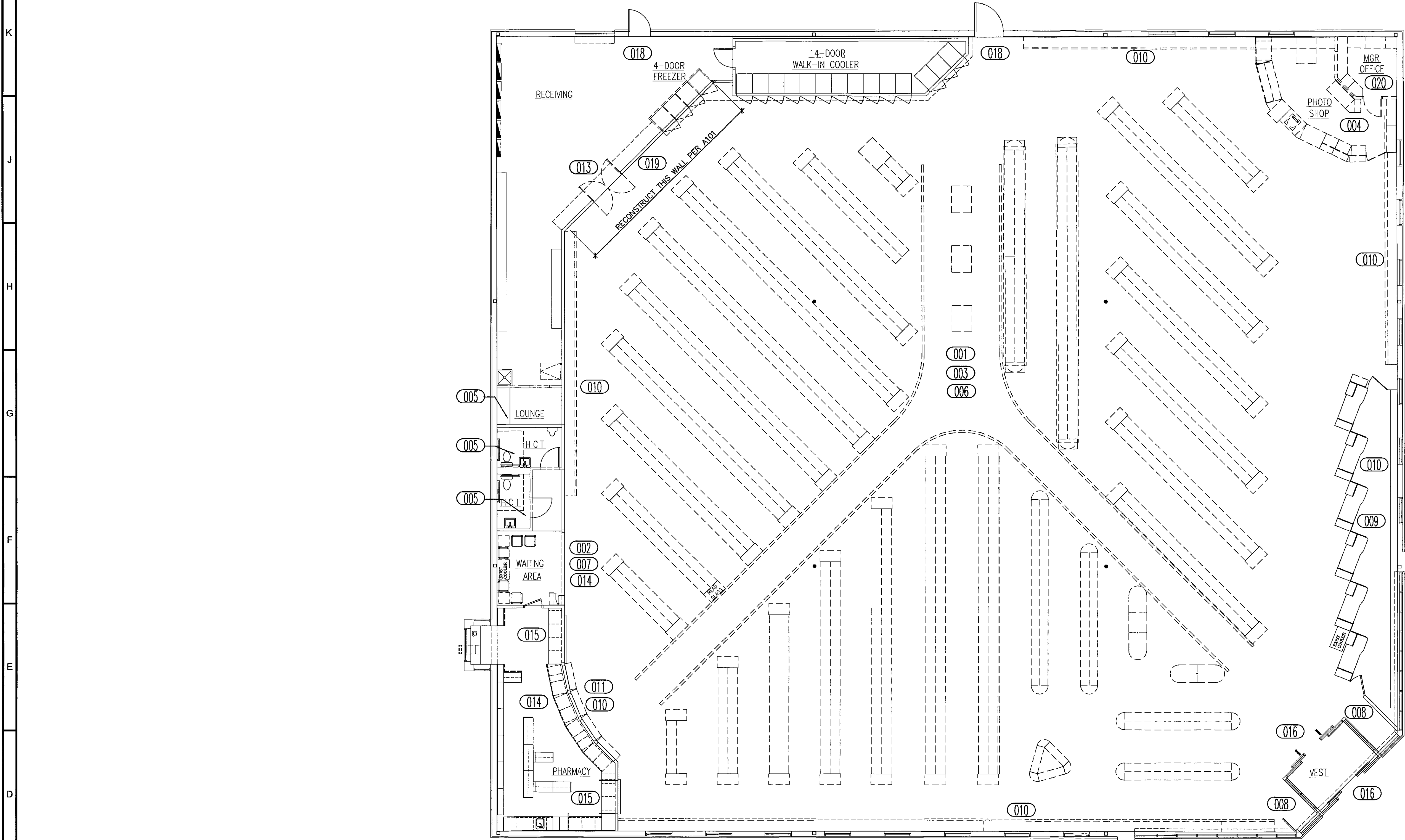
RITE AID #5237
3227 Northwest Avenue
Bellingham, WA 98225

GENERAL
WELL BEING
REMODEL

DATE: 01/20/14
DRAWN: HGK
CHECKED: HGK
APPROVED: HGK
PROJECT NO: 14-6236
TITLE: SITE PLAN, VICINITY MAP, CODE INFORMATION
SHEET NO: A-001

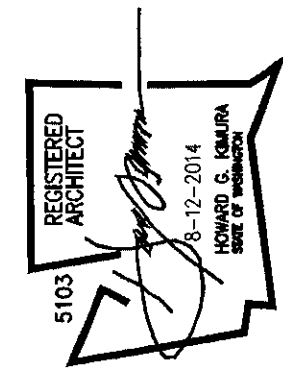
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
M	1) SCOPE OF WORK A THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED AND SHALL ALSO PAY FEES REQUIRED FOR THE GENERAL CONSTRUCTIONS, PLUMBING ELECTRICAL AND HVAC. B. SCHEDULE WORK WITH RITE AID AND LANDLORD AS NECESSARY C CONTRACTOR IS FULLY RESPONSIBLE FOR THE PROJECT SCHEDULE AND ALL MATERIALS AND WORK CONNECTED THERWITH UNTIL THE OWNER HAS ACCEPTED THE COMPLETED PROJECT IN WRITING THE CONTRACTOR SHALL REPLACE OR REPAIR AT HIS OWN EXPENSE ANY MATERIALS OR WORK DAMAGED OR STOLEN, REGARDLESS OF WHETHER HE HAS RECEIVED PAYMENT FOR THE WORK OR MATERIALS FROM THE RITE AID CORPORATION. D. UNLESS OTHERWISE PROVIDED, CONTRACTOR SHALL PROVIDE AT HIS EXPENSE ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, TRANSPORTATION AND UTILITIES INCLUDING COST OF CONNECTION NECESSARY FOR SUCCESSFUL COMPLETION OF THE PROJECT E CONTRACTOR SHALL INSTALL CERTAIN ITEMS AS SPECIFIED TO BE FURNISHED BY THE RITE AID CORPORATION, OR SHALL RECEIVE AND STORE IN SAFE CONDITION CERTAIN OTHER ITEMS WHICH WILL BE PURCHASED DIRECT BY RITE AID CORPORATION. F. CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS IN SET. PROVIDE SHOP DRAWINGS AS REQUIRED. G. CONTRACTOR SHALL SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS INCLUDING ALL ADDENDUMS ALL ADDITIONAL DOCUMENTS REQUIRED FOR PERMITS ARE TO BE SUPPLIED BY THE CONTRACTOR. H CONTRACTOR TO PROVIDE A COMPLETE BUILDING WITH ALL FINISHES AND ELECTRICAL COMPONENTS AS SHOWN OR INDICATED ON DRAWINGS. CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON DRAWINGS AND WRITTEN SPECIFICATIONS I THERE ARE TO BE NO CHANGES IN THE FOLLOWING SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS UNLESS APPROVED IN WRITING BY RITE AID CORPORATION J CHANGES AS STATED ABOVE WOULD INCLUDE ANY VARIATION OF MATERIALS, PRODUCTS, MANUFACTURERS, OR CONSTRUCTION SHOWN, IMPLIED OR WRITTEN IN THIS CONSTRUCTION DOCUMENTS SET K. GENERAL CONTRACTOR TO FURNISH SUBCONTRACTORS AND RELATED PARTIES WITH COMPLETE SET OF DRAWINGS. NO PARTIAL SET OR SHEETS REMOVED FROM SET WILL BE PERMITTED L. GENERAL CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR AND EQUIPMENT TO COMPLETE ALL WORK AND FURNISH A COMPLETED JOB ALL IN ACCORDANCE WITH LOCAL AND STATE GOVERNING AUTHORITIES AND OTHER AUTHORITIES HAVING LAWFUL JURISDICTION OVER THE WORK 2) DEFINITIONS A RITE AID - THE CORPORATE ENTITY OF RITE AID CORPORATION. B CONSTRUCTION MANAGER - RITE AID DESIGNATED REPRESENTATIVE IDENTIFIED IN CONTRACT DOCUMENTS. C CONTRACTOR - THE CONTRACTOR IS THE PERSON OR ORGANIZATION IDENTIFIED AS SUCH IN THE AGREEMENT. D SUBCONTRACTOR - THE PERSON, FIRM OR CORPORATION SUPPLYING DIRECT OR INDIRECT LABOR AND/OR MATERIALS AT THE SITE OF THE PROJECT AND UNDER SEPARATE CONTRACT OR AGREEMENT WITH THE CONTRACTOR. E THE WORK - THE WORK INCLUDES ALL LABOR NECESSARY TO PRODUCE THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS AND ALL MATERIALS AND EQUIPMENT INCORPORATED OR TO BE INCORPORATED IN SUCH CONSTRUCTION 3) REQUIREMENTS BEFORE SUBMITTING BIDS: A THE SITE AND ANY BUILDING LOCATED THEREON SHALL BE THOROUGHLY EXAMINED IN RELATION TO CONDITIONS WHICH MIGHT DIRECTLY EFFECT THE CONTRACT WORK THE BID SUM SHALL REFLECT ALL SUCH EFFECTING CONDITIONS. BIDDERS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WHICH MAY AFFECT THE WORK. B CONTRACTOR TO VERIFY THAT ALL UTILITIES REQUIRED FOR COMPLETION AND FULL OPERATION OF WORK WILL BE AVAILABLE AT THE TIME OF COMPLETION C DRAWINGS DO NOT TAKE PRECEDENCE OVER SPECIFICATIONS ANY CONFLICTS BETWEEN OR WITHIN THE DRAWING AND SPECIFICATIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE RCM AND ARCHITECT. UNLESS DIRECTED OTHERWISE THE MOST STRINGENT CONDITION SHALL APPLY. D ANY CONTRADICTIONS BETWEEN SPECIFICATION SHEETS AND CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RITE AID CONSTRUCTION MANAGER FOR VERIFICATION E ANY AND ALL ERRORS, DISCREPANCIES AND "MISSED" ITEMS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PROCESS BY THE CONTRACTOR. ALL THESE ITEMS ARE TO BE INCLUDED IN BID NO "EXTRA" WILL BE ALLOWED FOR MISSED ITEMS. F GENERAL CONTRACTOR TO REVIEW ALL DRAWINGS IN SET G GENERAL CONTRACTOR TO PROVIDE A COMPLETE BUILD-OUT WITH ALL FINISHES, MECHANICAL AND ELECTRICAL COMPONENTS AS SHOWN OR INDICATED ON DRAWINGS GENERAL CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON DRAWINGS AND WRITTEN IN SPECIFICATIONS, UNLESS NOTED OTHERWISE H ALL ITEMS SHOWN ON DRAWINGS ARE TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE				4) INTERPRETATION OF DRAWINGS AND DOCUMENTS: A IF THE BIDDER IS IN DOUBT AS TO THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS OR FINDS ERRORS, DISCREPANCIES OR OMISSIONS IN THEM THEY SHALL AT ONCE REQUEST INTERPRETATION OR CORRECTION THEREOF BY THE ARCHITECT OR CONSTRUCTION MANAGER. B THE ARCHITECT OR CONSTRUCTION MANAGER WILL PROMPTLY CLARIFY THE AREA IN QUESTION AND ISSUE WRITTEN INSTRUCTIONS TO ALL PROSPECTIVE BIDDERS VERBAL INSTRUCTIONS OR INTERPRETATIONS WILL HAVE NO VALIDITY REGARDLESS OF THE SOURCE. C REQUEST FOR SUCH CLARIFICATION MUST BE IN THE OFFICE OF CONSTRUCTION MANAGER A MINIMUM OF FIVE (5) DAYS BEFORE BID OPENING D CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CURRENT SET OF DRAWINGS ON SITE AT ALL TIMES AND TO INSURE THE DISTRIBUTION OF NEW DRAWINGS TO SUBCONTRACTORS AND OTHER RELEVANT PARTIES AS SOON AS THEY ARE MADE AVAILABLE ALL OLD DRAWINGS ARE TO BE MARKED VOID, REMOVED FROM THE SITE AND RENDERED USELESS. E CONTRACTOR TO REVIEW ALL SHOP DRAWINGS AND SUBMIT A COPY TO THE ARCHITECT FOR HIS RECORD F. THE CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS BUILT OR INSTALLED TO BE TRUE AND PLUMB. G GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, CONDUITS & UTILITY LOCATIONS, PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS NOTIFY RITE AID/ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY H DRAWINGS INDICATE THE MINIMUM STANDARDS BUT IF WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL INCLUDE RULES AND REGULATIONS WITH NO INCREASE IN COST. I GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING AND FASTENERS, INCLUDING ALL BLOCKING FOR GRAB BARS, SHELVES, AND ANY AND ALL OTHER WALL OR CEILING MOUNTED ITEMS J LOCATION OF EQUIPMENT, AND WORK SUPPORTED BY OTHERS THAT IS DIAGRAMMATICALLY INDICATED ON THESE DRAWINGS SHALL BE DETERMINED BY THE G.C. THE GENERAL CONTRACTOR SHALL DETERMINE LOCATIONS AND DIMENSIONS SUBJECT TO STRUCTURAL CONDITIONS AND WORK OF THE OTHER SUBCONTRACTORS K CONSTRUCTION TO BE INSTALLED LEVEL, PLUMB, TRUE AND WITHIN THE TOLERANCES SET FORTH IN THE APPROPRIATE SPECIFICATION SECTION POORLY INSTALLED NONCOMPLIANT WORK SHALL BE REMOVED AND REINSTALLED WITH OUT A BURDEN ON RITE AID. 5) RESPONSIBILITY FOR ACTS & OMISSIONS A CONTRACTOR AGREES THAT HE IS FULLY RESPONSIBLE TO OWNER/ TENET FOR ACTS AND/OR OMISSIONS OF HIS SUBCONTRACTORS AND THEIR MATERIAL, MEN AND OF PERSONS EITHER DIRECTLY OR INDIRECTLY EMPLOYED BY THEM 6) PERMITS AND REGULATIONS: A. PERMITS: 1. CONTRACTOR SHALL AT HIS OWN EXPENSE AND COST OBTAIN AND PROVIDE NECESSARY PERMITS, LICENSES, FEES AND BONDS NECESSARY FOR COMPLETION OF THIS WORK UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER 2. CONTRACTOR SHALL SECURE CERTIFICATES OF INSPECTION AND OF OCCUPANCY THAT MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK CONTRACTOR SHALL DELIVER THESE CERTIFICATES TO THE CONSTRUCTION MANAGER PRIOR TO SUBSTANTIAL COMPLETION B REGULATIONS: 1 CONTRACTOR AND OTHERS WORKING UNDER HIS JURISDICTION SHALL PERFORM ALL WORK IN COMPLIANCE WITH LAWS, REGULATIONS AND ORDINANCES OF ANY KIND REQUIRED BY GOVERNMENTAL AUTHORITIES AND OTHER AGENCIES HAVING JURISDICTION OVER THIS WORK 2 IF THE CONTRACTOR OBSERVES THAT THE CONTRACT DOCUMENTS ARE IN VARIANCE WITH ANY LAWS, REGULATIONS OR ORDINANCES, HE SHALL NOTIFY THE ARCHITECT AND SHALL NOT PROCEED UNLESS NECESSARY CHANGES REQUIRED FOR COMPLIANCE WITH SAID LAWS, REGULATIONS OR ORDINANCES HAVE BEEN MADE. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SAID LAWS, REGULATIONS AND ORDINANCES AND SHALL FULLY INDEMNIFY OWNER AGAINST LOSS AND BEAR ALL COST AND PENALTIES ARISING THEREFROM 7) JOB SITE ADMINISTRATION: A WORKMEN - CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG HIS WORKMEN AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE WORK ASSIGNED TO THEM. B BRACING, SHORING & SHEATHING - CONTRACTOR SHALL DESIGN, FURNISH AND INSTALL ALL SHORING, BRACING AND SHEATHING AS REQUIRED FOR SAFETY AND FOR PROPER EXECUTION OF THE WORK AND HAVE SAME REMOVED IF REQUIRED WHEN WORK IS COMPLETED C GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR ALL ON-SITE SAFETY FROM THE TIME JOB IS AWARDED UNTIL ALL WORK IS COMPLETED AND ACCEPTED BY THE OWNER. D PROTECTION OF PERSONS - CONTRACTOR SHALL PROVIDE INSTALLATION AND MAINTENANCE OF NECESSARY PRECAUTIONS TO PROTECT ALL PERSONS ON THE SITE, INCLUDING MEMBERS OF THE GENERAL PUBLIC, FROM INJURY OR HARM. E PROTECTION AGAINST WEATHER - CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE AT THE END OF THE DAY'S WORK, ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED				F. PROTECTION OF EXISTING WORK - ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. G PROTECTION ADJACENT PROPERTY - CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR ADJACENT PROPERTY AND LATERAL SUPPORT THEREOF H ACCEPTANCE OF WORK AND EXISTING CONDITIONS - APPLICATIONS OF MATERIALS TO SURFACES EXISTING OR PROVIDED SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS CONTRACTOR SHALL REPLACE AT HIS COST AND EXPENSE ANY WORK THAT IS APPLIED TO IRREGULAR OR NON-CONFORMING SURFACES I CONTRACTOR IS RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK 8) SECURITY: A CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING AND CONTENTS WHILE WORK IS BEING DONE AND FOR SECURING BUILDING WHEN WORK IS FINISHED FOR DAY B GENERAL CONTRACTOR (GC) & ALL SUB-CONTRACTORS SHALL WEAR IDENTIFICATION TAGS WITH FULL NAME AND THE COMPANY THEY WORK FOR AND SHALL BE VISIBLE ON EACH CREW MEMBER WORKING G C SHALL BE RESPONSIBLE FOR COORDINATING THIS WITH ALL THEIR SUBS 9) CUTTING AND PATCHING: A CONTRACTOR SHALL COORDINATE ALL CUTTING, FITTING AND PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE THE SEVERAL PARTS OF THE WORK COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR TO BE RECEIVED BY OTHER PORTIONS OF HIS OWN WORK OR THAT OF SUBCONTRACTORS OR INSTALLING MATERIAL AS SHOWN OR REASONABLY IMPLIED BY THE CONTRACT DOCUMENTS FOR A COMPLETED STRUCTURE. CONTRACTOR SHALL ALSO MAKE OR HAVE MADE PROPER AND SUFFICIENT REPAIR AND CLOSURE AS DIRECTED BY CONSTRUCTION MANAGER 10) CONTRACTOR QUALITY CONTROL A MATERIAL QUALITY 1 MATERIALS INCORPORATED INTO PROJECT SHALL BE NEW, EXCEPT AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS AND OF SPECIFIED PRODUCTS 2. CONTRACTOR SHALL FURNISH EVIDENCE OF THE QUALITY OF MATERIALS INCORPORATED INTO THE PROJECT AT THE REQUEST OF THE CONSTRUCTION MANAGER. 3. MATERIAL NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED FROM THE PROJECT AND REPLACED WITH MATERIALS MEETING THE CONTRACT DOCUMENT REQUIREMENTS BY CONTRACTOR WITH NO ADDITIONAL EXPENSE TO THE OWNER B. ASBESTOS. 1. NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY FOR INSTRUCTIONS IF a MATERIALS CONTAINING ASBESTOS ARE BROUGHT TO THE SITE FOR INCLUSION INTO THE WORK b ASBESTOS MATERIALS ARE ENCOUNTERED IN ANY EXISTING STRUCTURES UPON WHICH WORK IS BE PERFORMED c. DO NOT INSTALL OR REMOVE ANY ASBESTOS CONTAINING MATERIALS. 11) CONSTRUCTION AIDS A CONTRACTOR AND HIS SUBCONTRACTORS SHALL FURNISH AND MAINTAIN ALL EQUIPMENT AS REQUIRED FOR PROPER EXECUTION OF WORK B ALL APPARATUS, EQUIPMENT AND CONSTRUCTION SHALL MEET ALL REQUIREMENTS OF THE LABOR LAW, SAFETY REGULATIONS AND OTHER STATE AND LOCAL LAWS APPLICABLE THERETO C CONTRACTOR SHALL PAY FOR FOR ALL TEMPORARY UTILITIES, INCLUDING TELEPHONE AND FAX, USED DURING CONSTRUCTION PERIOD UNTIL SUCH TIME THAT RITE AID TAKES OCCUPANCY D. CONTRACTOR SHALL COORDINATE ALL PICKUPS & DROP OFFS FOR ALL GARBAGE DUMPSTERS AND RECEPTACLES AND TOILET FACILITIES AS REQUIRED GARBAGE DUMPSTERS PROVIDED BY RITE AID. 12) BARRIERS & ENCLOSURES A TEMPORARY ENCLOSURES - CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER TIGHT ENCLOSURES FOR ALL EXTERIOR OPENINGS AS SOON AS WALLS AND ROOF ARE BUILT SO AS TO PROTECT ALL WORK FROM WEATHER. 13) TEMPORARY CONTROLS: A CONSTRUCTION CLEANING: 1 CONTRACTOR SHALL KEEP PREMISES BROOM CLEAN DURING THE PROGRESS OF WORK 2 REMOVE WASTE MATERIAL AND RUBBISH CAUSED BY EMPLOYEES, SUBCONTRACTORS AND TRADES a PROVIDE ADEQUATE WASTE RECEPTACLES AND DISPOSAL OF MATERIALS WHEN FULL b. PROPERLY STORE VOLATILE WASTE AND REMOVE DAILY c. DO NOT BURN OR BURY WASTE d. DO NOT DEPOSIT WASTE INTO STORM DRAINS, SANITARY SEWERS, STREAMS OR WATERWAYS e DISPOSE OF WASTE IN ACCORDANCE WITH APPLICABLE LAWS. 14) DELIVERY, STORAGE & HANDLING A THE CONTRACTOR SHALL CONFINE APPARATUS, STORAGE OF MATERIALS AND OPERATIONS OF HIS WORKMEN TO LIMITS INDICATED BY LAW, ORDINANCES, AND PERMITS AND SHALL ARRANGE AND MAINTAIN PARKING OF VEHICLES AND STORAGE OF MATERIALS IN AN ORDERLY MANNER LEAVING ALL WALKS, DRIVEWAYS, ROADS AND ENTRANCES UNENCUMBERED 15) INSTALLATION STANDARDS: A. FOLLOW MANUFACTURER'S DIRECTIONS UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS 16) PRODUCT SUBSTITUTIONS: A. USE ONLY PRODUCTS FROM A SINGLE MANUFACTURER FOR ONE USE. B WHEREVER A PRODUCT OR CLASS OF MATERIAL IS SPECIFIED EXCLUSIVELY BY TRADE NAME, NAME OF MAKER, OR BY CATALOG REFERENCE, USE ONLY SUCH A SPECIFIED PRODUCT. PRODUCTS AND MATERIALS NOT SPECIFIED IN THE CONTRACT DOCUMENTS AND INSTALLED IN THE WORK SHALL BE REMOVED AND REPLACED WITH SPECIFIED PRODUCTS AND MATERIALS AT NO ADDITIONAL COST TO OWNER AND FOR NO ADDITIONAL TIME ADDED TO CONTRACT.				C WHEREVER WORDS "APPROVED BY", "SATISFACTORY TO", "SUBMITTED TO", "INSPECTED BY", OR SIMILAR PHRASES ARE USED IN THESE DOCUMENTS, THEY SHALL BE UNDERSTOOD TO MEAN THAT THE MATERIAL OR ITEM REFERRED TO SHALL BE APPROVED BY, BE SATISFACTORY TO, SUBMITTED TO, OR INSPECTED BY, CONSTRUCTION MANAGER. D ALL EQUIPMENT AND ALL PRODUCTS PURCHASED TO BE REVIEWED BY THE CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS FOR ANY CONDITION REQUIRED PER MANUFACTURERS RECOMMENDATIONS THE CONTRACTOR SHALL SUPPLY THESE ITEMS AT NO COST TO OWNER OR ARCHITECT. 17) FINAL CLEANING: A. CONTRACTOR SHALL, AT COMPLETION OF WORK, REMOVE ALL CONSTRUCTION RELATED RUBBISH FROM UNDER AND ABOUT THE BUILDING, ALL HIS TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS			

M
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- DEMOLITION NOTES:
- 001 REFER TO OVERALL PLAN, SHT A101 FOR WORK RELATED TO REMOVAL AND REPLACEMENT/RELOCATION OF STEEL FIXTURES SHOWN DASHED
 - 002 REMOVE EXISTING WAITING ROOM CARPET, CHAIR RAILS, CHAIRS, AND VERIFY WITH RCM SCOPE IF MARLITE PANELS ARE TO BE REPLACED WITH NEW ARTISAN MONTEREY SAND
 - 003 REMOVE EXIST FLOOR TILES AS REQUIRED TO ACCOMMODATE THE NEW FLOOR TILE INSET PATTERN ON A101, IF SHOWN
 - 004 REMOVE EXISTING PHOTO DEPARTMENT CASEWORK, CHEM FLOORING, SHELVING AND EQUIPMENT SHOWN DASHED DISCUSS WITH RCM HOW TO REMOVE AND DISPOSE OF PHOTO EQUIPMENT. EX CHECKSTANDS TO REMAIN
 - 005 REFER TO A101 AND REMOVE ACCESSORIES SPECIFIED AND REPLACE WITH MODEL SHOWN, AT HTS SPECIFIED AT LOUNGE AND TOILET ROOMS AT LOUNGE, REMOVE EXIST COUNTERS SHOWN DASHED
 - 006 REFER TO RCM SCOPE OF WORK FOR QUANTITY OF REPLACEMENT CLG AND FLOOR TILES REMOVE EXISTING FLOORING AND CEILING TILE PER RCM'S BUDGETED AMOUNT, THAT ARE IN DISREPAIR AND REPLACE AS NEEDED
 - 007 EXIST BLOOD PRESSURE MACHINE AND WATER DISPENSER TO BE RECOATED PER A101
 - 008 EXISTING CART CORRAL TO REMAIN ADJACENT TO CHECKSTANDS, REMOVE CART CORRAL RAILS AT OPPOSITE SIDE
 - 009 EXIST CHECKSTANDS TO REMAIN, REMOVE COUNTERTOPS TO REPLACE WITH NEW PER A101
 - 010 REMOVE EXIST PERIMETER WALL STEEL AND LIGHTED VALANCE SHOWN DASHED RETAIN EX LIGHTED VALANCE TO REINSTALL AT PERIMETER WALL STEEL ON A101
 - 011 CLEAN UP PHARMACY FRONT WALL TO PREPARE SURFACE FOR NEW WALL PAPER, REMOVING ALL WALL STEEL IN FRONT REMOVE EX DROP OFF AND PICK UP COUNTERTOPS AND REPLACE WITH NEW PER SCOPE OF WORK, REMOVE CARPET TO PREPARE FOR NEW PER A101
 - 012 EXIST WALK-IN COOLERS TO REMAIN, REMOVE PORTIONS OF METAL ROOF AS REQ'D TO INSTALL NEW VERTICAL FASCIA WALL PER A101
 - 013 REMOVE EX ELIASON DOOR AND RELOCATE TO LOCATION SHOWN ON A101 SPACKLE, BONDO AND PAINT FRAME AS REQ'D
 - 014 REMOVE EXIST CARPET AT PHARMACY AND WAITING AREA AS REQ'D TO PREPARE FLOOR SURFACE FOR NEW CARPET PER A101
 - 015 REMOVE AND REPLACE EXISTING DROP OFF AND PICK UP COUNTER TOPS AT EXISTING PHARMACY
 - 016 EXIST STOREFRONT DOORS TO REMAIN
 - 017 EXISTING ELIASON DOOR TO REMAIN UNLESS OTHERWISE SPECIFIED IN RCM SCOPE OF WORK
 - 018 EXIST EXIT DOORS TO REMAIN
 - 019 SHORE EX NON LOAD-BEARING WALL, REMOVE PORTION AS REQ'D TO ACCOMMODATE NEW OPENING FOR FREEZERS ON A101
 - 020 EXISTING MANAGER'S OFFICE TO REMAIN

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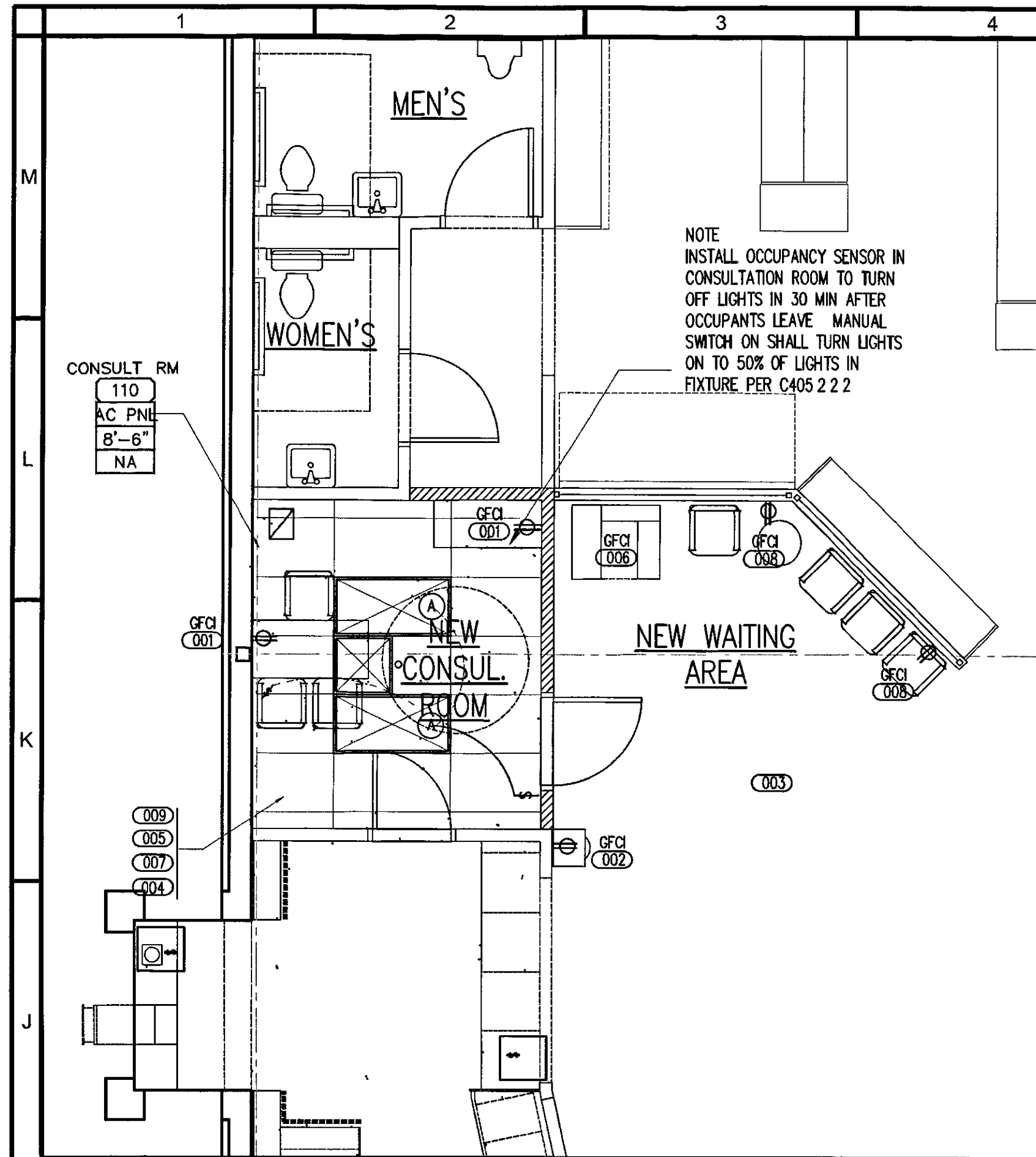
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Revisions	Date	8-12-2014
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Title		
DEMOLITION PLAN		
Sheet No		

A-003



- KEY NOTES**
- (001) DUPLEX OUTLETS IN NEW CONSULTATION ROOM, TYP OF 2
 - (002) RELOCATED ELECTRIC WATER COOLER, PROVIDE WATER & POWER
 - (003) EXIST. CEILING IN SALES AREA TO REMAIN
 - (004) GC TO VERIFY SPRINKLER HEAD LOCATIONS AND PROVIDE DESIGN-BUILD SERVICES TO VERIFY NEW PLACEMENT IS ACCEPTABLE PER CODE
 - (005) NEW AC PNL CEILING AT 8'-0" AFF WITH NEW 2'X4" RECESSED MTD FLUORESCENT LIGHT FIXTURES
 - (006) NEW OUTLET FOR BLOOD PRESSURE MACHINE
 - (007) INSTALL NEW AIR SUPPLY, CONNECT TO EXIST HVAC SYSTEM
 - (008) DUPLEX OUTLETS IN WAITING ROOM
 - (009) GC TO REVIEW FIRE ALARM STROBES & ALARMS AND PROVIDE DESIGN-BUILD SERVICES TO ACCOMMODATE CHANGE
 - (010) NOT USED

NOTE: SEE OVERALL FLOOR PLAN, GENERAL CONSTRUCTION NOTES TO ACCOMMODATE NEW WORK

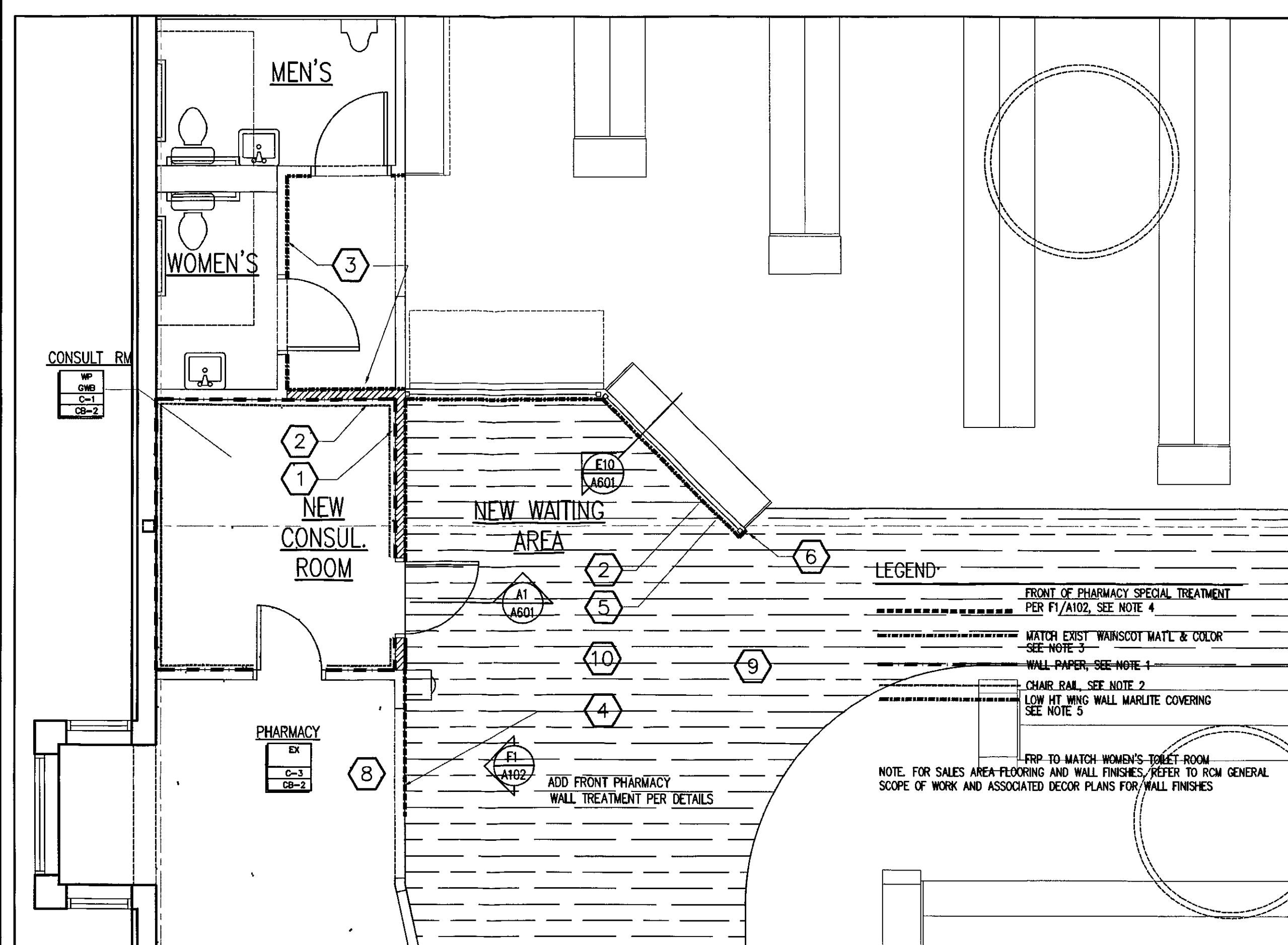
LEGEND:



2X4 FLUORESCENT RECESSED LIGHT FIXTURE, LITHONIA, 2SP8-C-2-32-A12-MVOLT-GE-B, 58 WATTS

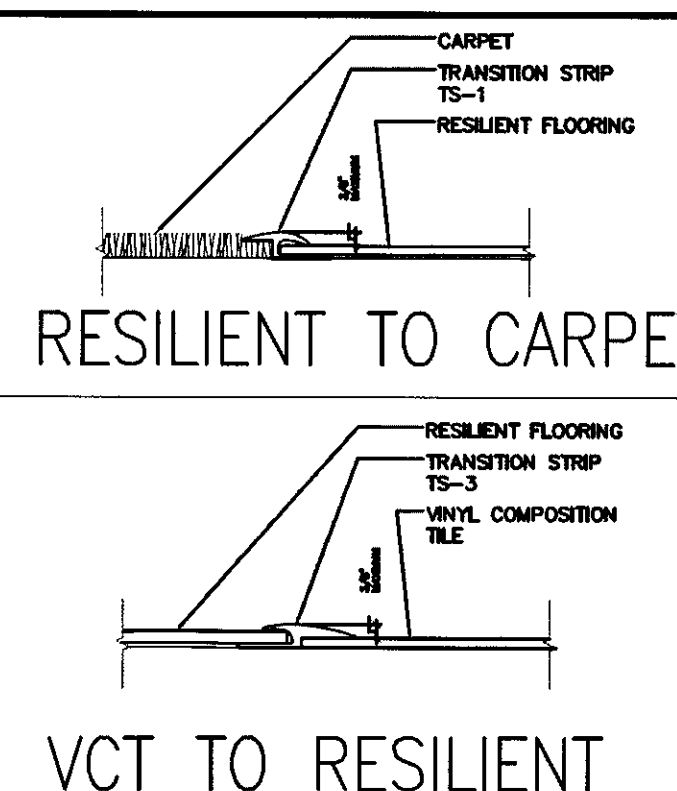


1X4 FLUORESCENT RECESSED LIGHT FIXTURE, LITHONIA, 2-32W LAMPS, T-8 ELEC BALLAST, 58 WATTS



- SHEET NOTES (1) (FOR DET H8 ONLY)**
- NOTE: GC SHALL VERIFY ALL INTERIOR FINISHES AND COLORS WITH RCM DURING BID WALK THRU MEETING TO CAPTURE THE LATEST UPDATES FROM CORPORATE.
- CONSULTATION ROOM
 - CEILING: ARMSTRONG GEORGIAN (763) 2X4
 - WALL COVERING: KOROSEAL RITE AID "BONE WHITE" GC (THE PATTY MADDEN LINE OF PRODUCTS) GAB
 - LSB-CAB-03 "BONE WHITE"
 - FLOOR COVERING: MATWORKS - EARTH QUEST - GC
 - CODE BASE: JOHNSONITE FUDGE RWDC-167-GC
 - CHAIR RAIL AT PERIMETER OF CONSULTATION ROOM AT 32" AFF. CHAIR RAIL: JOHNSONITE - FUDGE CHR-167-C
 - VESTIBULES AT TOILET ROOMS & SALES FLOOR WALLS. UNLESS DIRECTED OTHERWISE BY RCM TO USE EXIST MARLITE WALL PANELS
 - WALLS: INSTALL MARLITE ARTIZAN MONTEREY SAND FRP #5408
 - BASE: JOHNSONITE FUDGE RWDC-167-GC
 - VERIFY COLOR AND FINISH WITH RCM AT BID WALK
 - FRONT WALL OF PHARMACY: PREPARE GWB SURFACE WITH TO RECEIVING GREEN LEAF RX MURAL ON OUTER WALL LSI, BLAIR OR ENTERA
 - WAITING AREA- WALLS: INSTALL NEW MARLITE ARTIZAN MONTEREY SAND FRP #5408. VERIFY WITH RCM PRIOR TO ORDERING AND INSTALLATION IF STORE REQUIRES MATCHING EXIST MARLITE PANELS
 - FLOORS: INSTALL LVT FLOORING PER FIXTURE PLAN. ARMSTRONG LVT CARBONIZED BAMBOO - TP753
 - NO WAINSCOT WHERE WALL STEEL EXISTS. SEE A101 PHARMACY INTERIOR
 - FLOOR: MATWORKS PREFERENCE EZE BASE. CODE BASE: JOHNSONITE FUDGE RWDC-167-A
 - WALLS AND WOOD TRIM: PAINT WALLS BENJAMINE MOORE "CLOUD COVER" OC-25
 - PHARMACY COUNTER TOPS:
 - CHANGE OUT COUNTER TOPS PER RCM SCOPE OF WORK: WILSON ART - CASUAL LINEN #4944-38
 - LAMINATE LAM BY RA. INSTALL BY GC
 - SALES FLOOR FLOOR: LVT PATHWAY FLOORING PER FIXTURE PLAN. ARMSTRONG LVT CARBONIZED BAMBOO - TP753
 - MATCH OR USE ARMSTRONG STRIATIONS BBT (BIO-BASED TILE) MUSHROOM 73611, 12"X24"
 - REFER TO SHEET A-802 FOR PROJECT FINISH MATERIALS AND REFER TO RCM SCOPE OF WORK TO DETERMINE EXTENT OF FINISHED MATERIALS
 - MATCH MARLITE WAINSCOT WITH SPECIFICATION CALLED OUT IN RCM SCOPE OF WORK

- CONSTRUCTION NOTES (RA5237)**
- SHEET NOTES (1)**
- INSTALL NEW STEEL AS SHOWN ON PLAN
 - RELOCATE STEEL AS SHOWN ON PLAN
 - REMOVE EXISTING PHOTO CABINETS
 - INSTALL NEW PHOTO KIT AS SHOWN ON PLAN
 - RELOCATE WESTERN UNION AS SHOWN ON PLAN
 - INSTALL NEW WELCOME FIXTURE
 - INSTALL NEW FITNESS/GNC COOLER
 - INSTALL NEW COSMETIC PROMO FIXTURE AS SHOWN ON PLAN
 - INSTALL NEW P&G HIM & HER ENDS
 - REFINISH FRONT OF PHARMACY W/NEW WALL COVERING AS NOTED ON PLAN
 - INSTALL NEW HAND MAGNIFIERS AT THE FOLLOWING MERCHANDISE SETS: SKIN CARE, EYE CARE, FIRST AID, HAIR CARE, STOMACH, ANALGESICS, COUGH & COLD, SHAMPOO/CONDITIONERS, HAIR STYLING, NUTRITION, NATIONAL BRANDS, PHARMACY, WEIGHT MANAGEMENT, HEALTH, NATURAL REM, W-SLIM, MEN'S HAIR, AND CONVENIENCE FOOD
 - CUSTOMER PULL BASKET STANDS TO BE LOCATED IN THE FOLLOWING LOCATIONS: 2 STANDS NEAR STORE ENTRANCE(S), 1 STAND NEAR RX, AND 1 NEAR MIDDLE OF STORE. PREFERABLY CLOSE TO 12 PACK BEVERAGE MERCHANDISE
 - REFURBISH LOUNGE PER RCM INSTRUCTIONS
 - WILSON ART - CASUAL LINEN #4944-38
 - INSTALL NEW WELLNESS AMBASSADOR AS SHOWN ON PLAN
 - CONSTRUCT NEW CONSULTATION ROOM & WAITING AREA AS SHOWN ON PLAN
 - INSTALL NEW PHARMACY SERVICE & FRONT-END COUNTERTOPS AS NOTED ON PLAN
 - INSTALL NEW NAIL BAR AS SHOWN ON PLAN
 - INSTALL NEW GRAB & GO COOLER AS SHOWN ON PLAN
 - INSTALL NEW BULK STACKS AS NOTED ON PLAN
 - RELOCATE ATM AS SHOWN ON PLAN
 - INSTALL NEW COSMETIC CASE AS NOTED ON PLAN
 - WALL FIXTURES TO RECEIVE VALANCE, BRACKETS & LIGHTING
 - INSTALL NEW MEN'S ZONE AS NOTED ON PLAN
 - INSTALL NEW SOFFIT ABOVE COOLERS & FREEZERS AS NOTED ON PLAN
 - FIXTURE TO RECEIVE TSU'S AS NOTED ON PLAN
 - INSTALL NEW WOOD CANOPY PROVIDED BY RA FDC
 - INSTALL NEW 37" WOOD ENDPANEL PROVIDED BY RA FDC
 - REMOVE/RELOCATE CABINETS AS SHOWN
 - CUT OPENING AND INSTALL NEW 30"x24" FLIP-UP COUNTERTOP WITH GATE BELOW
 - INSTALL NEW COUNTERTOPS AS NEEDED TO ACCOMMODATE FLIP-TOP COUNTERTOP
 - INSTALL NEW REMOTE 5 DOOR COOLER AS NOTED ON PLAN
 - RELO EXISTING 4 DOOR FREEZER AS NOTED ON PLAN
- DENOTES NEW PHONE LOCATION



F15 FLOOR FIN. JOINT

3" = 1'-0"

GENERAL NOTES

PLAN DIMENSIONS ON THIS SHEET AND LARGE SCALE DRAWINGS ARE TO FACE OF GWB AND CENTER LINES OF WINDOWS UNLESS OTHERWISE NOTED. SEE SHEET A-801 FOR DOOR TYPES

SEE SHEET A-802 FOR FINISH SCHEDULE.

LEGEND

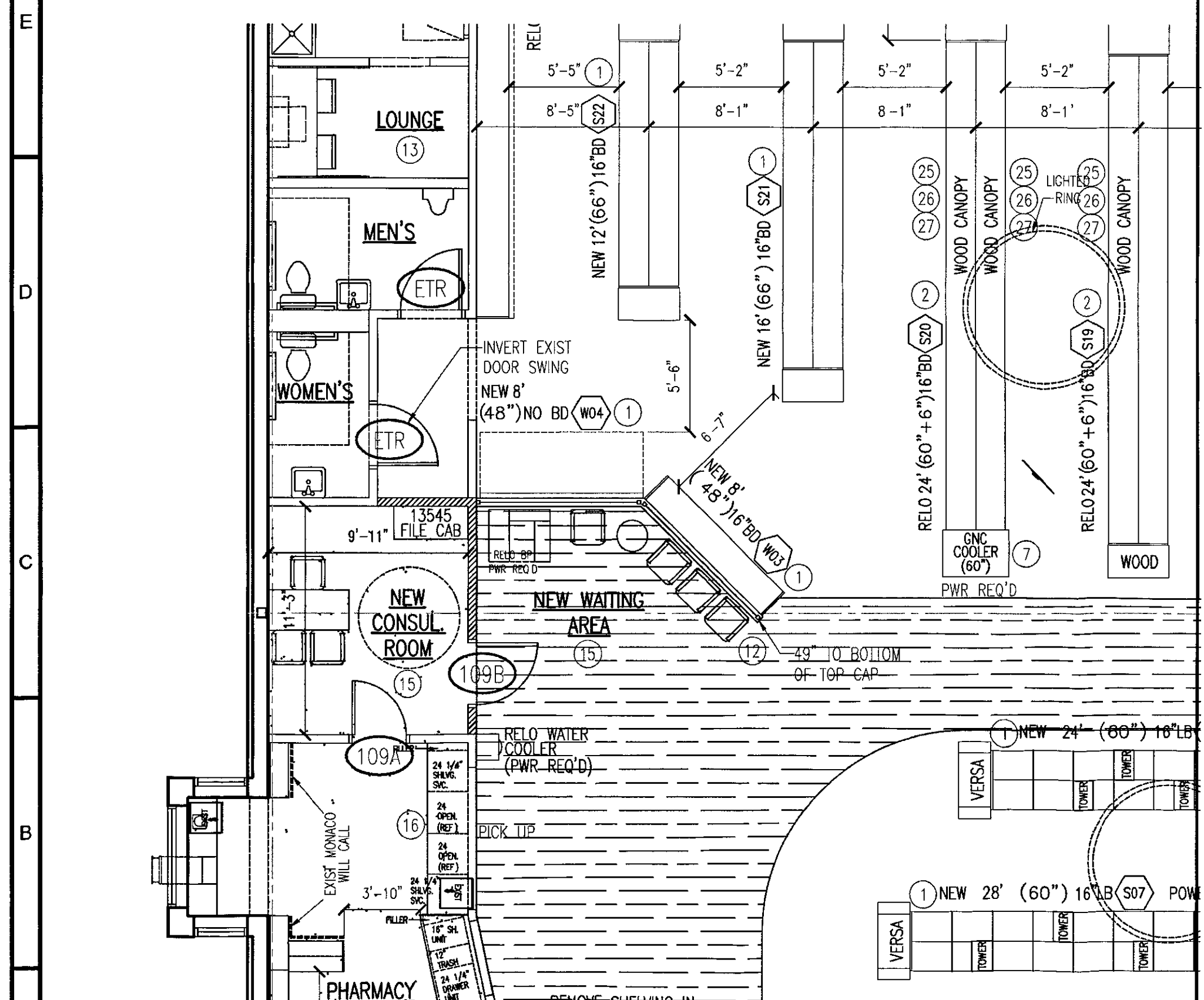
- NEW PARTITION
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- EXISTING INTERIOR WALL TO BE REMOVED AFTER NON-LOAD BEARING STATUS HAS BEEN VERIFIED BY GENERAL CONTRACTOR
- INDICATES ITEMS ABOVE
- INDICATES DOOR NUMBER (RE: K7/A-801)
- ROOM NAME (XXX)
- ROOM NUMBER
- PARTITION TYPE (RE: C4/A-801)
- WINDOW TAG (RE: A-802)
- FLOOR FINISH (RE: A-802)

H1 EXIST. TOILET ROOMS - NEW VERT. GRAB BAR

1/4" = 1'-0"

H8 ENLARGED FLOOR FINISH AND WALL PLAN

1/4" = 1'-0"



NOTE: PROVIDE BENJAMINE MOORE ASHEN TAN BR6, SATIN FN., AT ALL SALES FLOOR WALLS. AT FLOOR TO 90" AFF., PROVIDE ARTIZAN MONTEREY SAND #5408 TOP MARLITE PANELS WHERE WALL STEEL STOPS. MARLITE PANELS TO ALIGN WITH WALL STEEL. ALL AREAS WHERE MARLITE EXIST SHALL HAVE RUBBER BASE PER A002 NOTES. YELLOW BRICK ROAD SHALL BE PROVIDED IF SHOWN ON PLANS. REPLACEMENT OF VCT SHALL BE DETERMINED BY RCM DURING THE BID WALK THRU. THE UPPER WALL "WOOD BEAM" DESIGN SHALL BE LOCATED PER C1P DRAWINGS

GC TO VERIFY ALL EXIST DOORS SHOWN ABOVE ARE EQUIPPED WITH INTERNALLY ILLUMINATE "EXIT" SIGNS WITH BATTERY BACK UP. LIGHTS SHALL HAVE EMERGENCY LIGHTS ON 24/7 TO ILLUMINATE THE COMMON PATH OF TRAVEL TO EXIT DOORS SHOWN

IN THE EVENT OF POWER OUTAGE, GC SHALL MAINTAIN EMERGENCY LIGHTING IN THE FORM OF BATTERY BACKUP TO ILLUMINATE ASILES TO EXIT PATHS IN ANY ROOM REQUIRING 2 EXITS (SALES AREA) FOR A MIN. OF 90 MIN. ALSO PROVIDE EMERGENCY LIGHTING FOR ALL EXTERIOR LANDINGS OF REQUIRED EXTERIOR EXITS. THIS INCLUDES THE TWO PRIMARY EXITS FROM THE SALES FLOOR AREA.

A1 1/4" PLAN OF EX. CONSULT. RM FINISHES

1/4" = 1'-0"

A5 PROPOSED FLOOR PLAN

3/32" = 1'-0"

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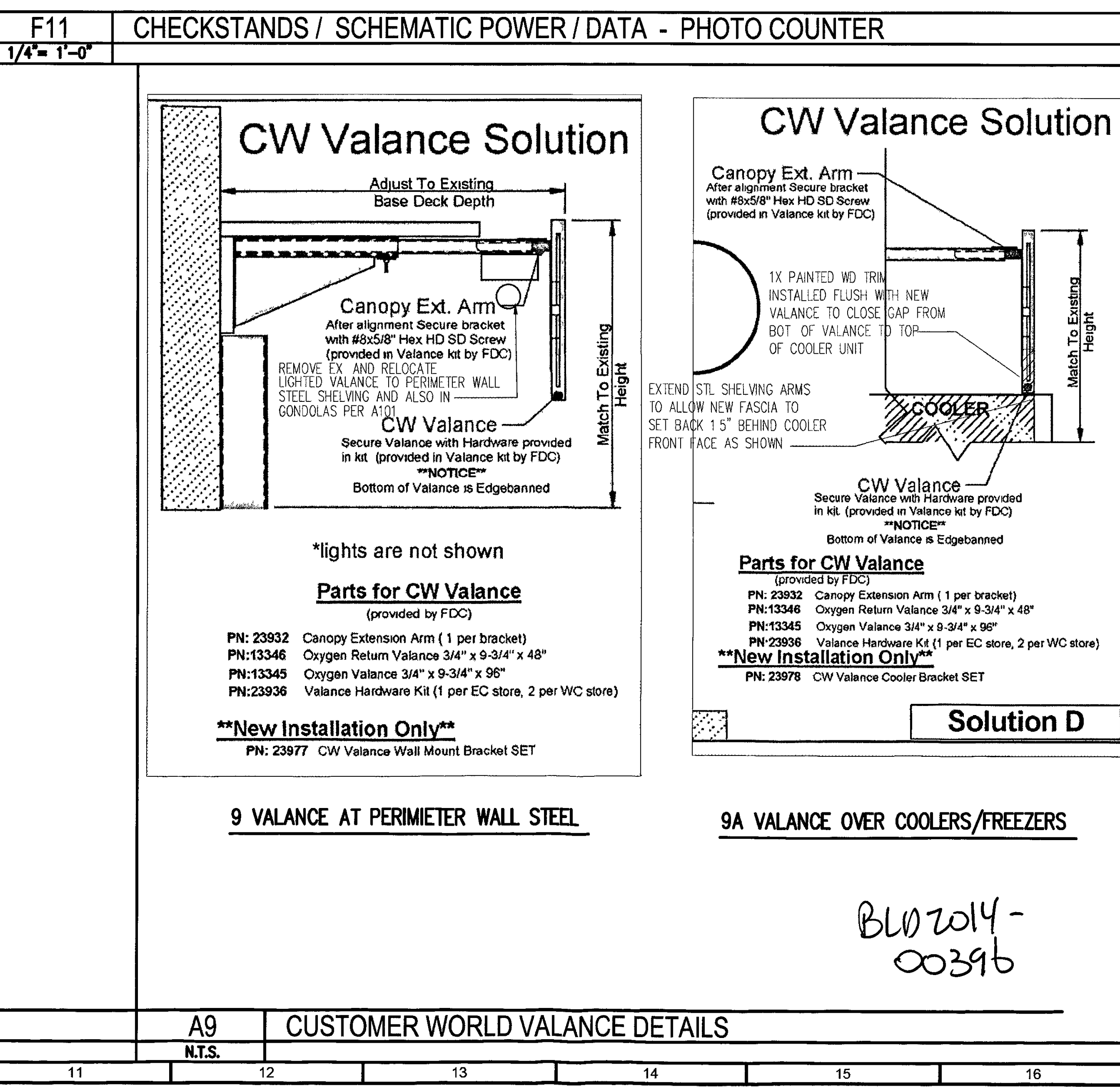
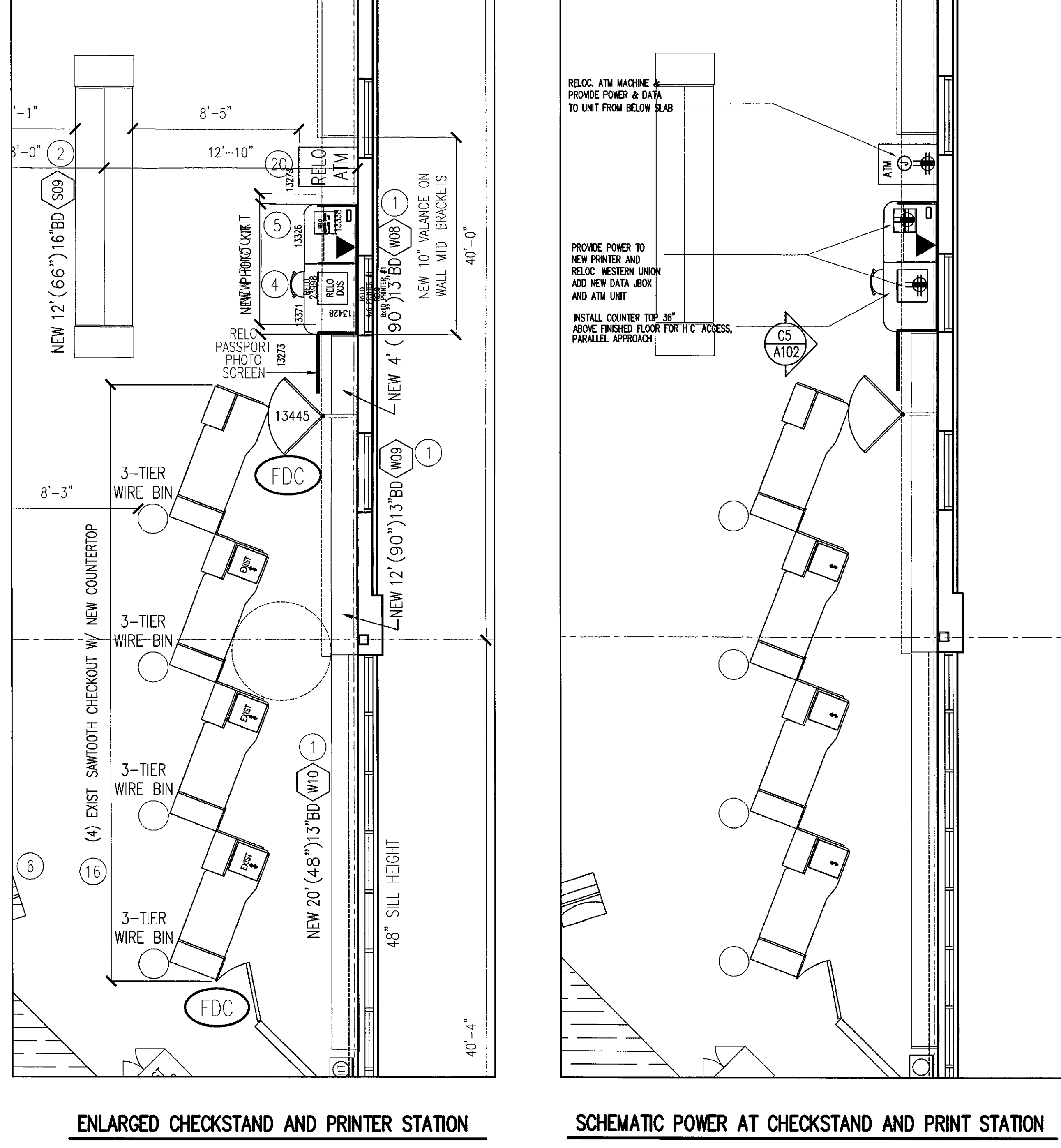
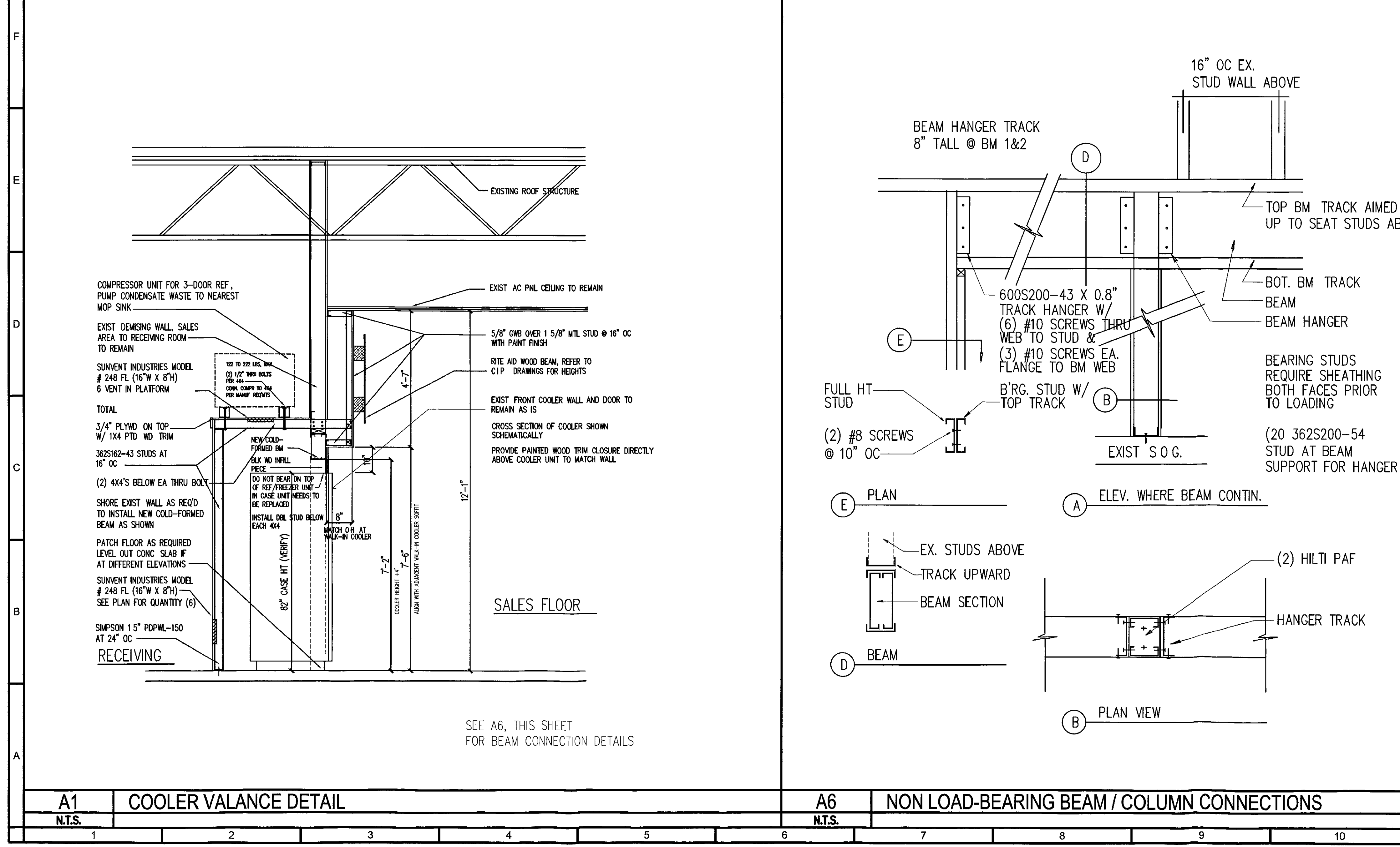
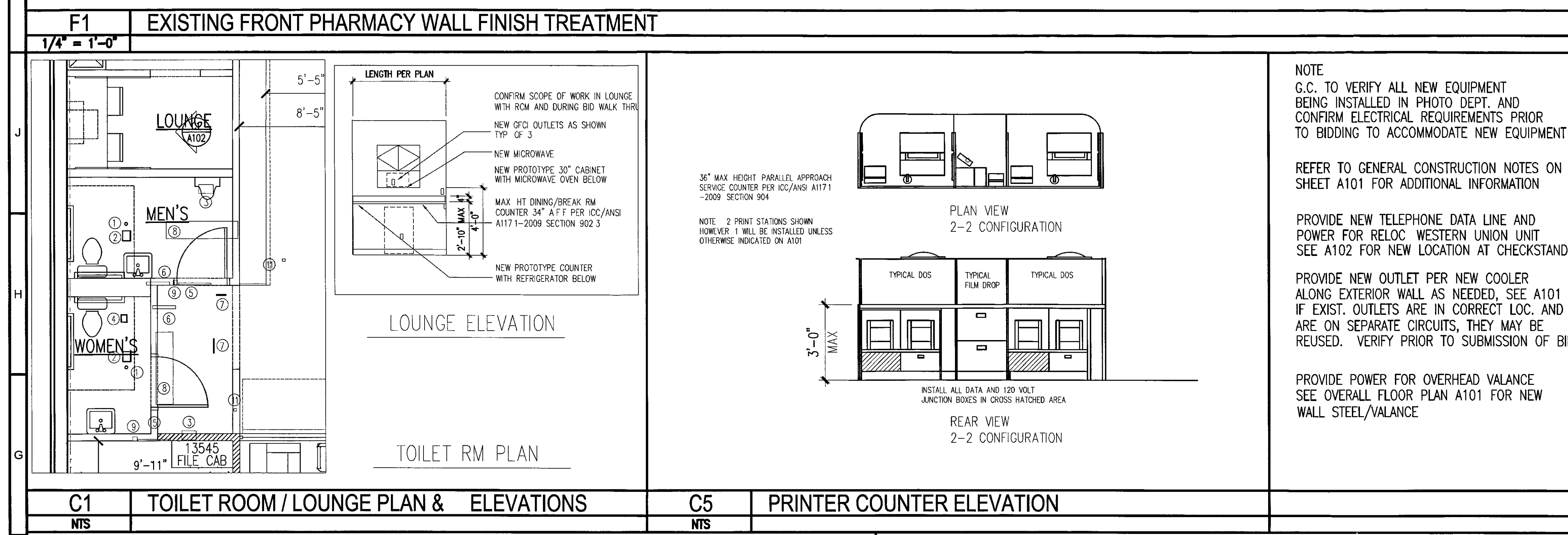
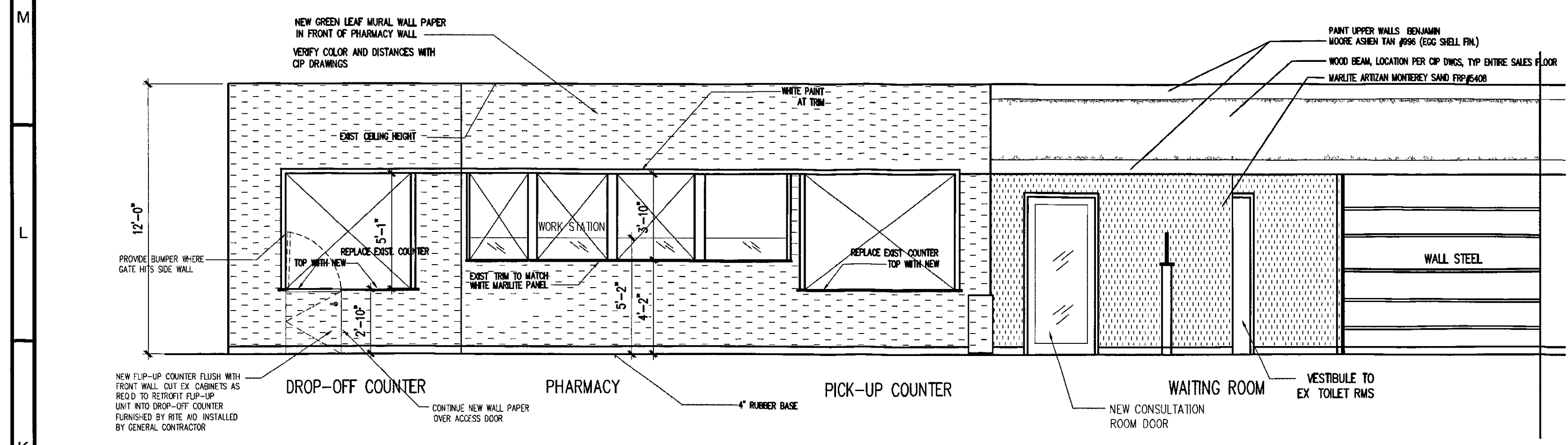
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RITE AID
CORPORATION

GENERAL
WELL BEING
REMODEL

REVISIONS
Date: 5-12-2014
By: BLD
No: 2014-7
00396
Drawn: HIGK
Checked: HIGK
Approved: HIGK
Project No: 14-6236
Title: PROPOSED FLOOR PLANS
Sheet No: A-101



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RESIDENT PROJECT

5103
12-12-2014
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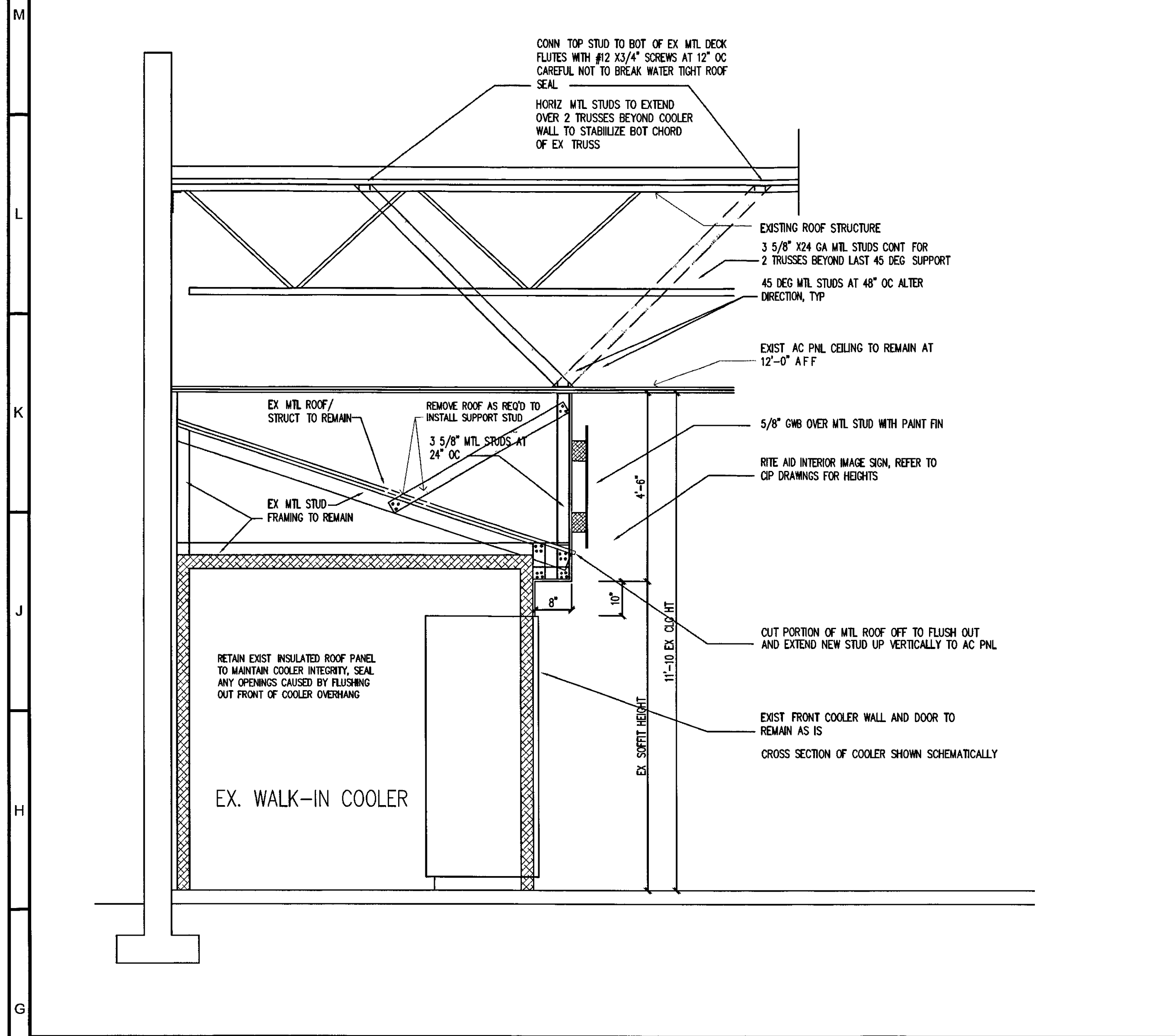
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RITE AID CORPORATION
GENERAL WELL BEING REMODEL

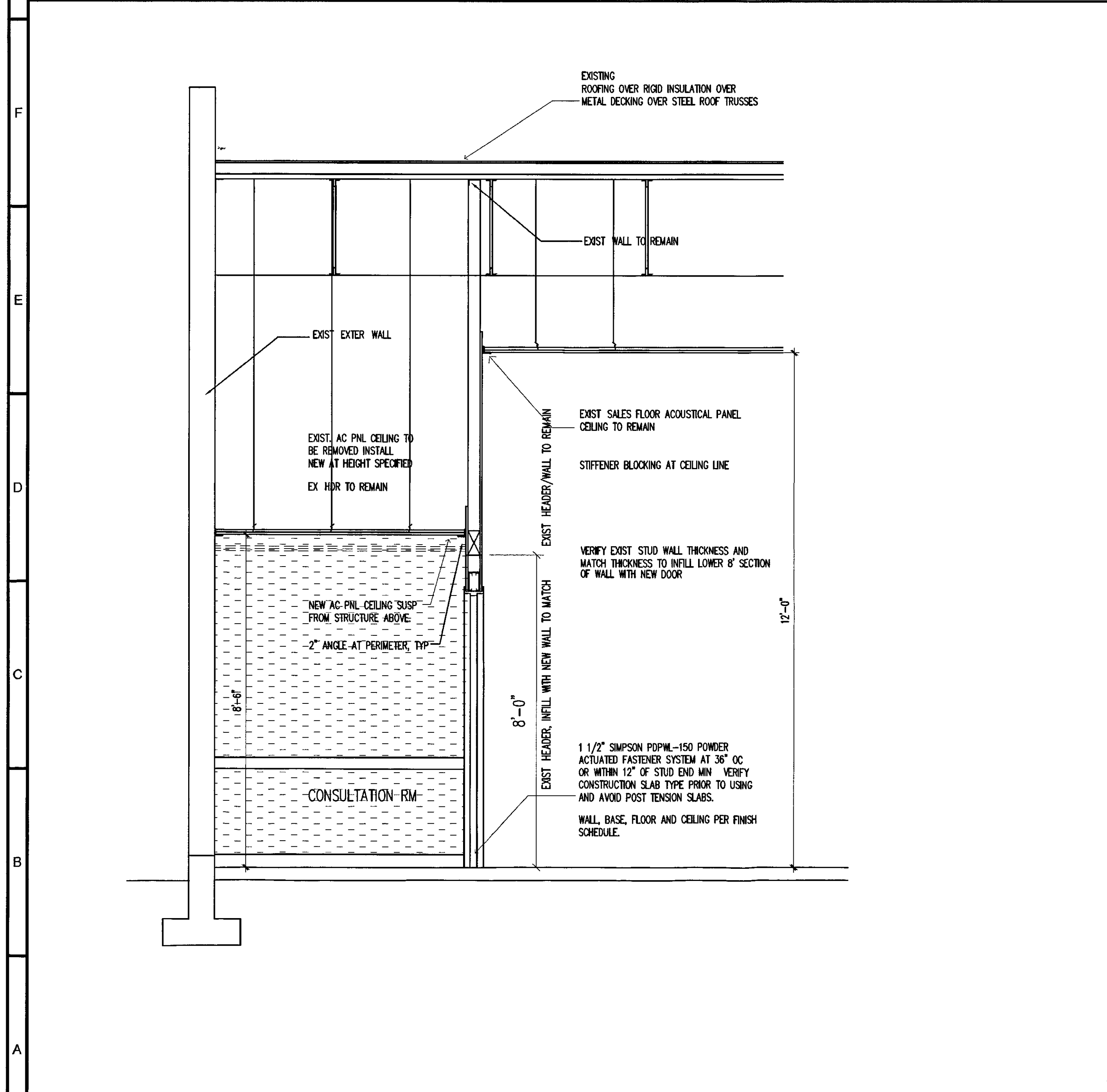
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Project No: 14-6238

Title: ENLARGED CHECKSTANDS & POWER, DETAILS

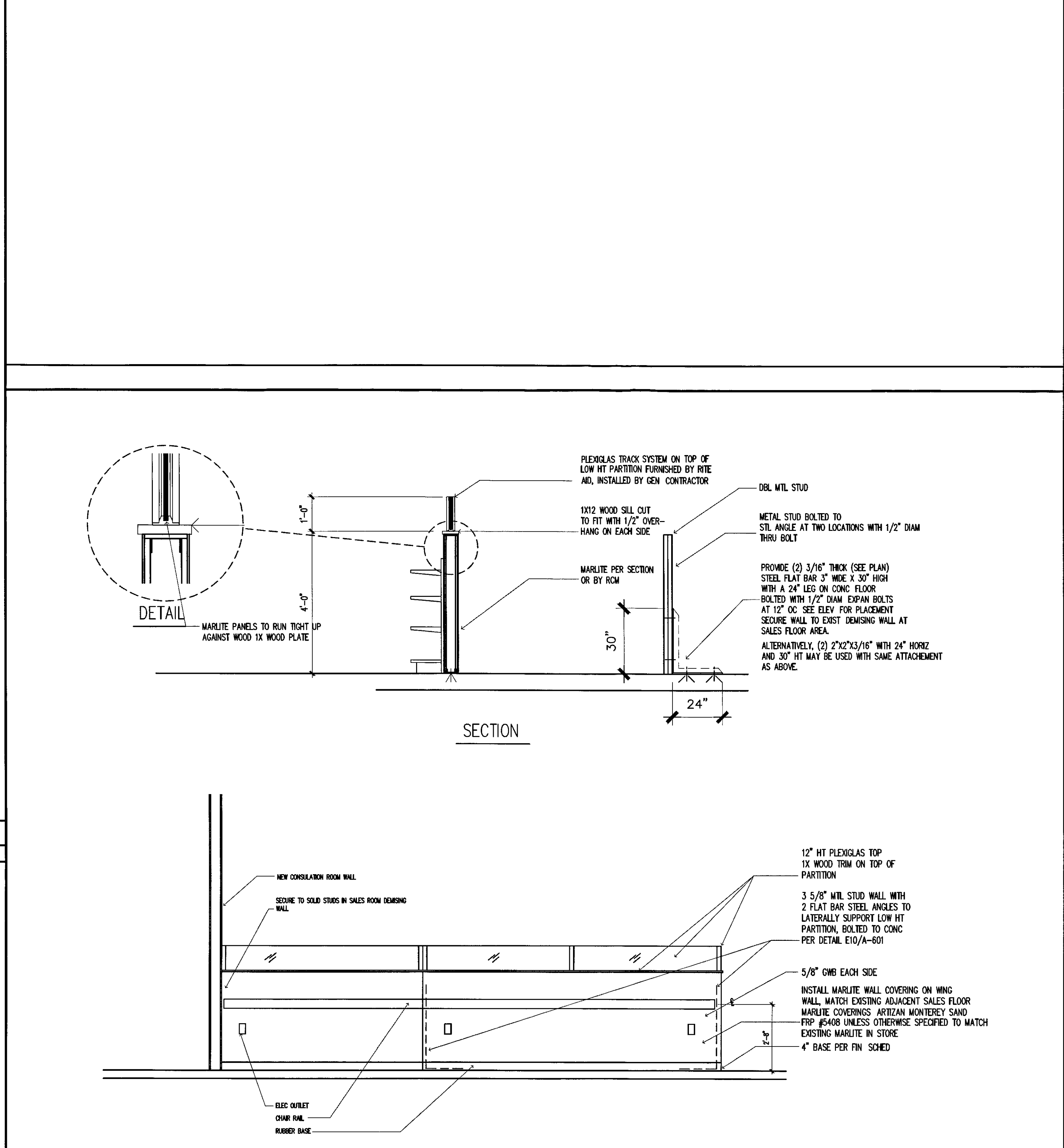
A-102



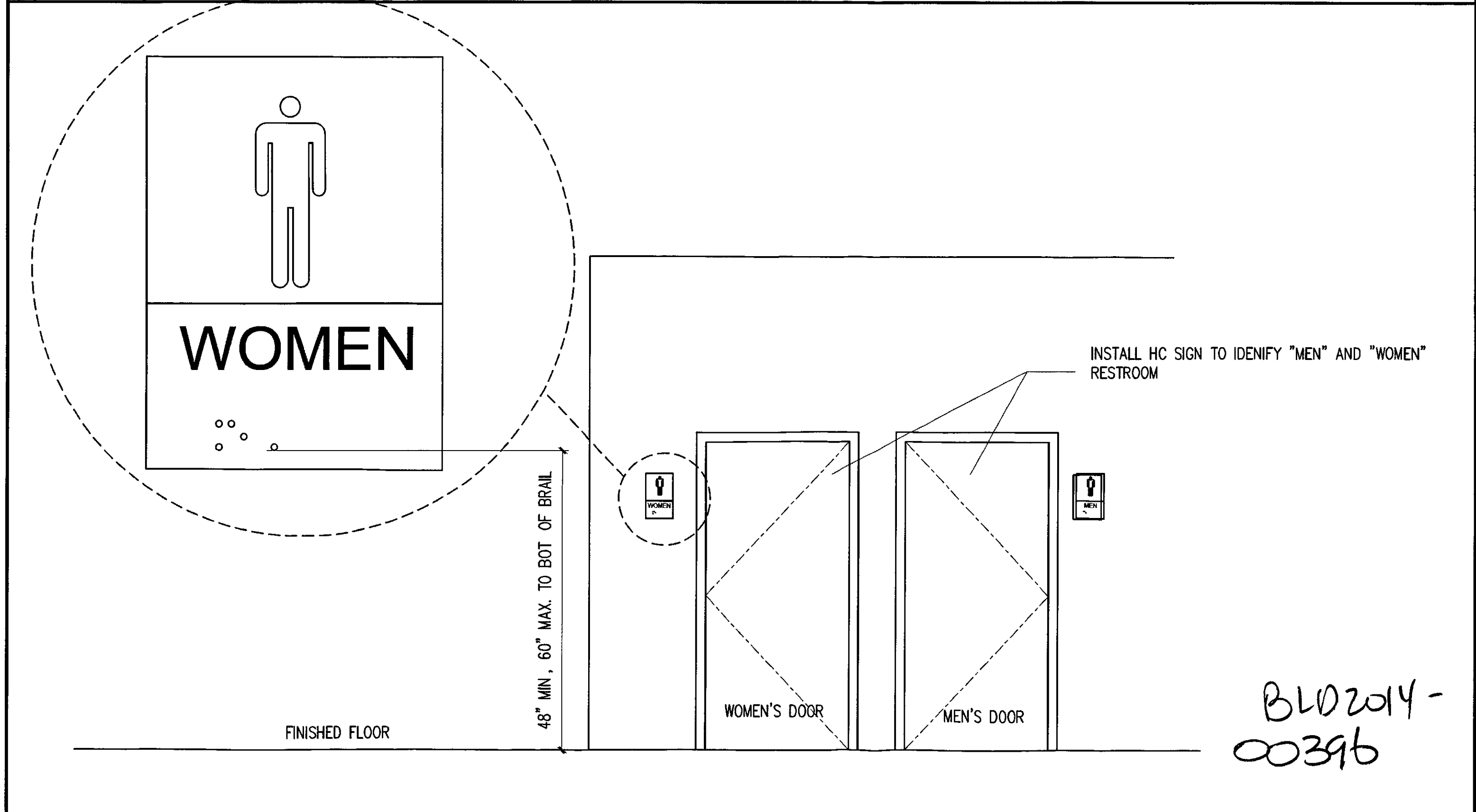
G5 SECTION THRU EX. WALK-IN COOLER UNIT



A1 CONDENSER ROOF TOP DETAILS



E10 ELEVATION OF EXISTING WAITING ROOM WALL



A10 HANDICAP SIGNAGE AT TOILET ROOMS

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Revisions:
No. Date
1 8-12-2014
2 8-12-2014

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Approved: HGK

Project No: 14-6236

Title: INTERIOR DETAILS SECTIONS

Sheet No: A-601

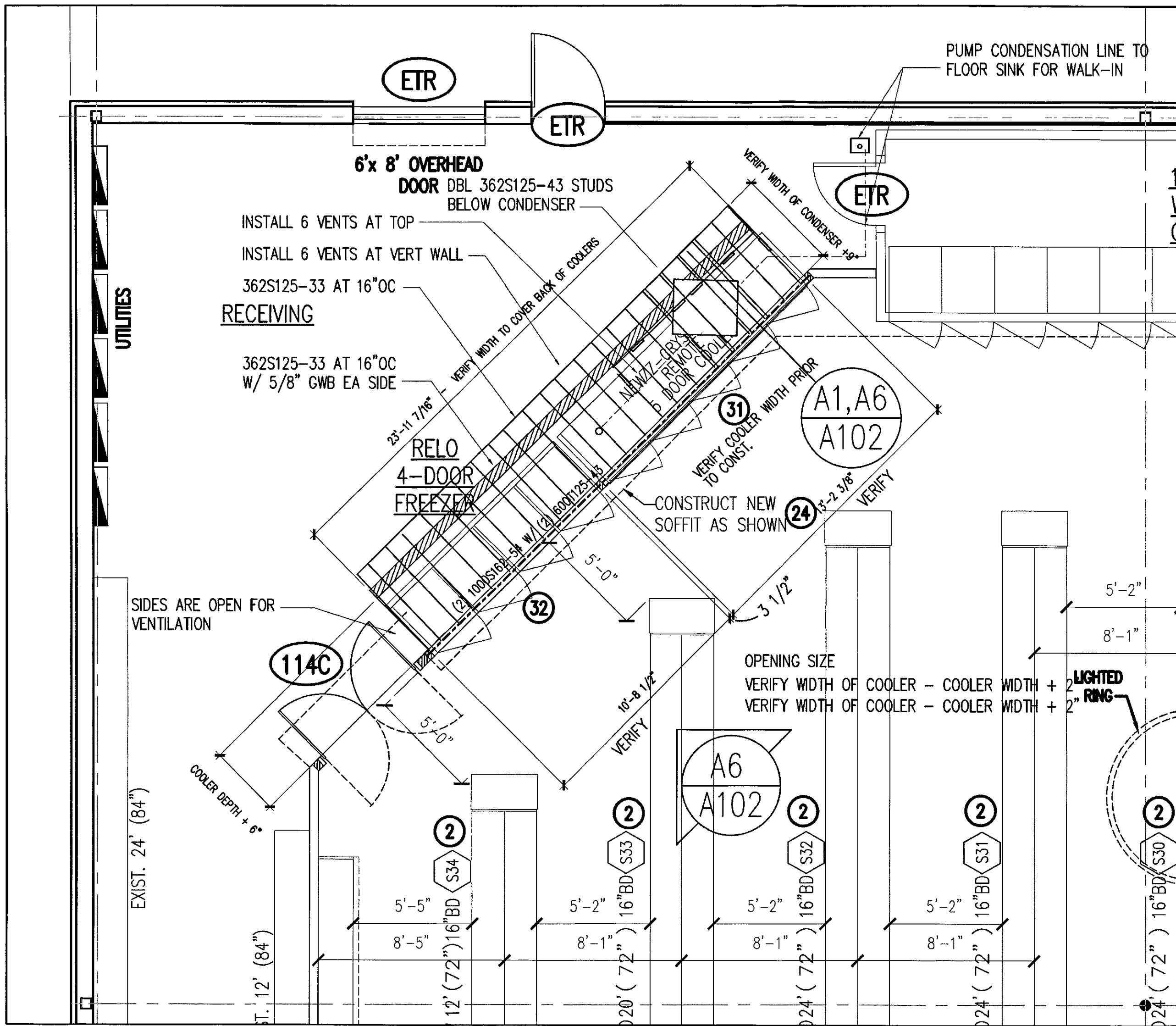
NOTE:
ALL NEW LOCKS SHALL BE KEYPED ALIKE TO MATCH EXISTING STORE
REFER TO RCM SCOPE OF WORK FOR KEYING. PROVIDE 7 COPIES OF KEYS TO PHARMACY. FOLLOW STRICT DIRECTIONS FROM RCM SCOPE ONCE LOCKS ARE KEYPED AND ARRANGE FOR KEYS TO BE DELIVERED DIRECTLY FROM LOCKSMITH TO PHARMACIST MANAGER

109A	3'-0" X 7'-0"	HM	C	P-10	HM	1	J1	H1	P-8/P-10	-	3	110	KEY #4	PHARMACY DOOR WITH REAR SHOP (CONSULTATION SIDE OF DOOR FRAME TO BE PAINTED P-10)
109B	3'-0" X 7'-0"	WD	F	PL-8	HM	1	J1	H1	P-10/P-10	-	3	SALES	KEY #4	CONSULTATION ACCESS DOOR (DOOR FRAME TO BE PAINTED P-10 ON CONSULTATION SIDE, P-10 ON WAITING ROOM SIDE)
114C	RELOC. EX. DOOR/FRAME	HM	B	MANUF	STL	1	G1	G1	P-9	-	NA	MANUF	NONE	ELASOM DOOR MODEL #P11 PLUS - COLOR #10 GRAY - NO SUFF FLAYS REQUIRED SITE VERIFY EXACT SIZE OF ELASOM DOOR PRIOR TO ORDERING. EXISTING FRAME TO REMAIN, BOND EX. FRAME & PROVIDE PT. FIN., TYP. OF 2

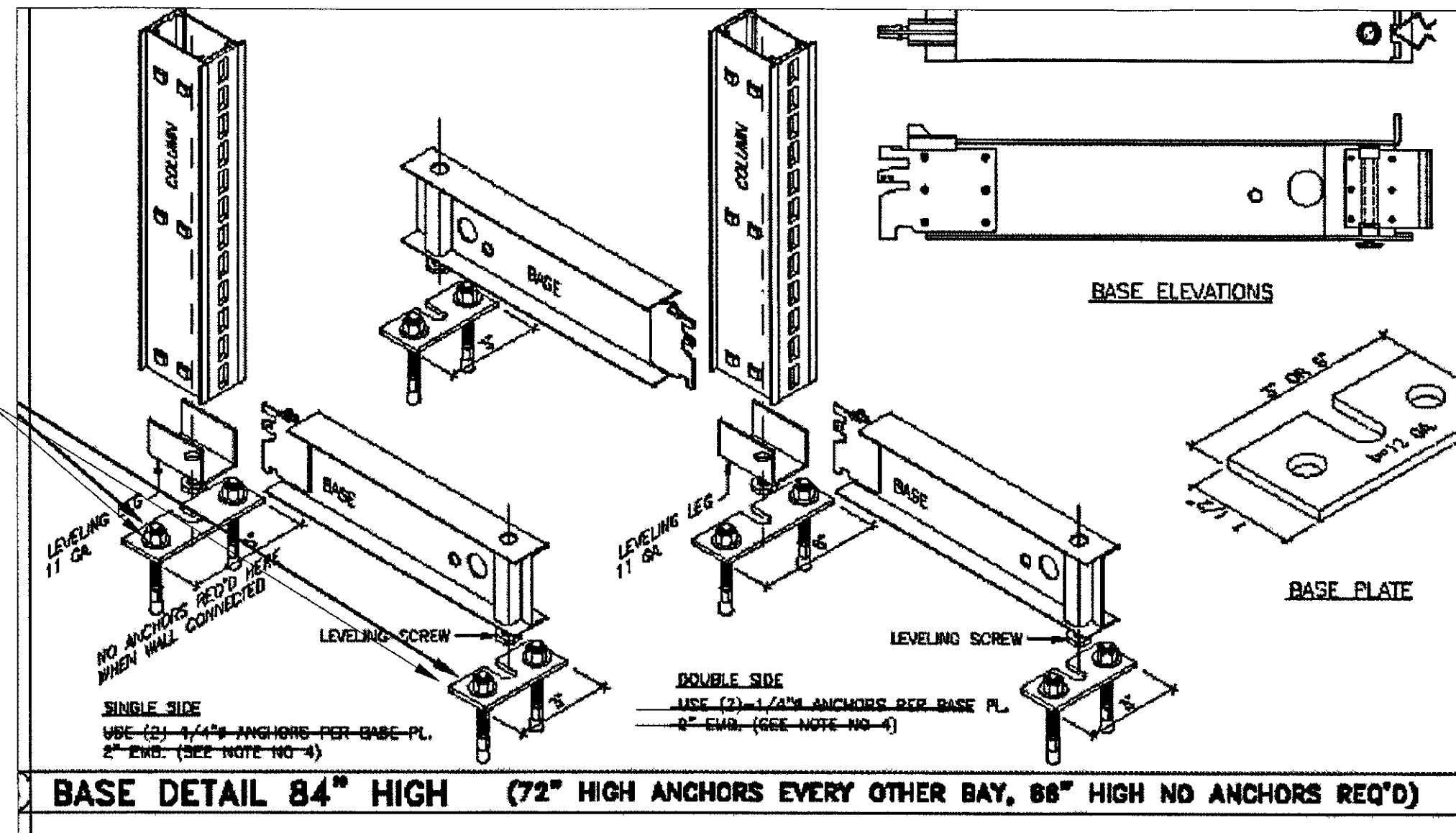
- KEY PROCEDURE NOTES (FOR REFERENCE ONLY)
- KEY SET #1 IS FOR THE FRONT ENTRANCE DOORS. THE BESAM DOORS COME WITH A CONSTRUCTION CORE AND KEYS. THE RITE AID OPERATIONS DISTRICT MANGER WILL REMOVE THIS CORE AND REPLACE IT WITH ANOTHER CORE. THE FINAL KEYS FOR THIS KEY SET ARE SUPPLIED BY RITE AID
 - KEY SET #2 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY THE GC
 - KEY SET #3 IS TO HAVE 8 COPIES. THESE ARE SUPPLIED BY THE GC
 - KEY SET #4 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY THE GC
 - KEY SET #5 IS SUPPLIED BY RITE AID
 - KEY SET #6 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY THE GC. THESE KEYS ARE FOR THE ACCESS PANELS IN THE UNDERSIDE OF THE DRIVE THRU CANOPY.
 - KEY SET #7 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY RITE AID THROUGH THE GATE SUPPLIER, QMI
 - ALL OF THE LOCKSETS FOR THE KEY SETS WHICH ARE SUPPLIED BY THE GC ARE TO BE TURNED OVER TO RITE AID PER THE DIRECTION OF THE RITE AID CONSTRUCTION MANAGER
 - THE GC IS TO SUPPLY ONE BLANK KEY FOR EACH LOCKSET

K4 PARTITION HEAD AND SILL
1 1/2" = 1'-0"

K7 DOOR SCHEDULE
RE: A4/A-801; D4/A-801

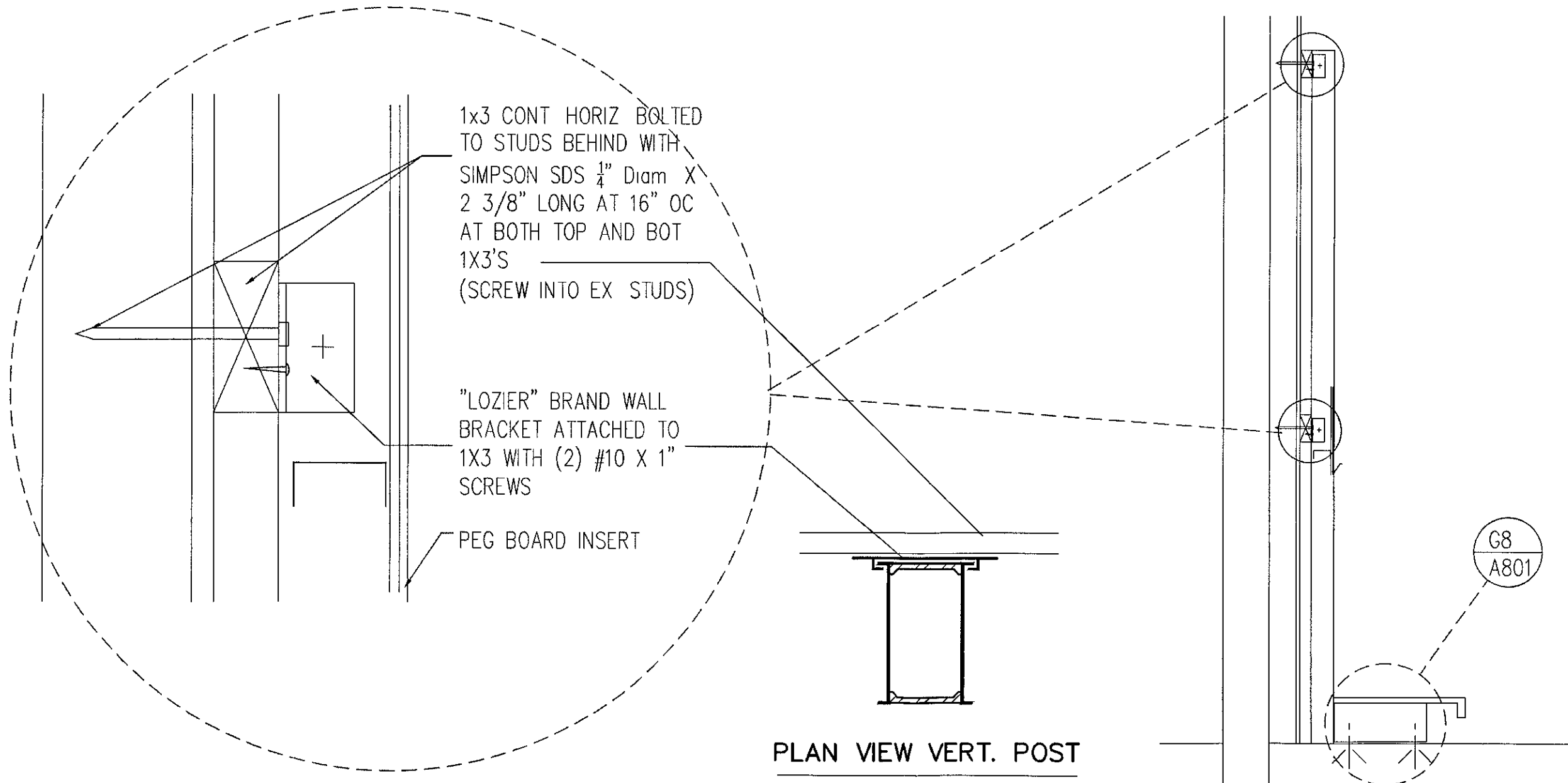


USE (2) 3/8" DIAM X 3" HELIX KNU BOLT-TZ ANCHORS PER BASE PL. 7-5 (SHEED ESR-1017 SPECIAL INSPECTION IS REQ'D)
OPTION:
IN LIEU OF HELIX KNU BOLT-TZ ANCHORS GC MAY USE SIMPSON TITAN HD 3/8" DIAM X 2 1/2" (SHEED INTO CONC. ALL PER ESR 2713



G8 WALL STEEL AND GONDOLA BASE CONNECTION FOR UNITS > 69" HIGH
3" = 1'-0"

AT RELOCATED OR NEW WALL STEEL THAT EXCEEDS 69" IN HEIGHT, CONTRACTOR SHALL UTILIZE THE FOLLOWING ATTACHMENT DETAIL TO SUPPORT THE WALL STEEL.

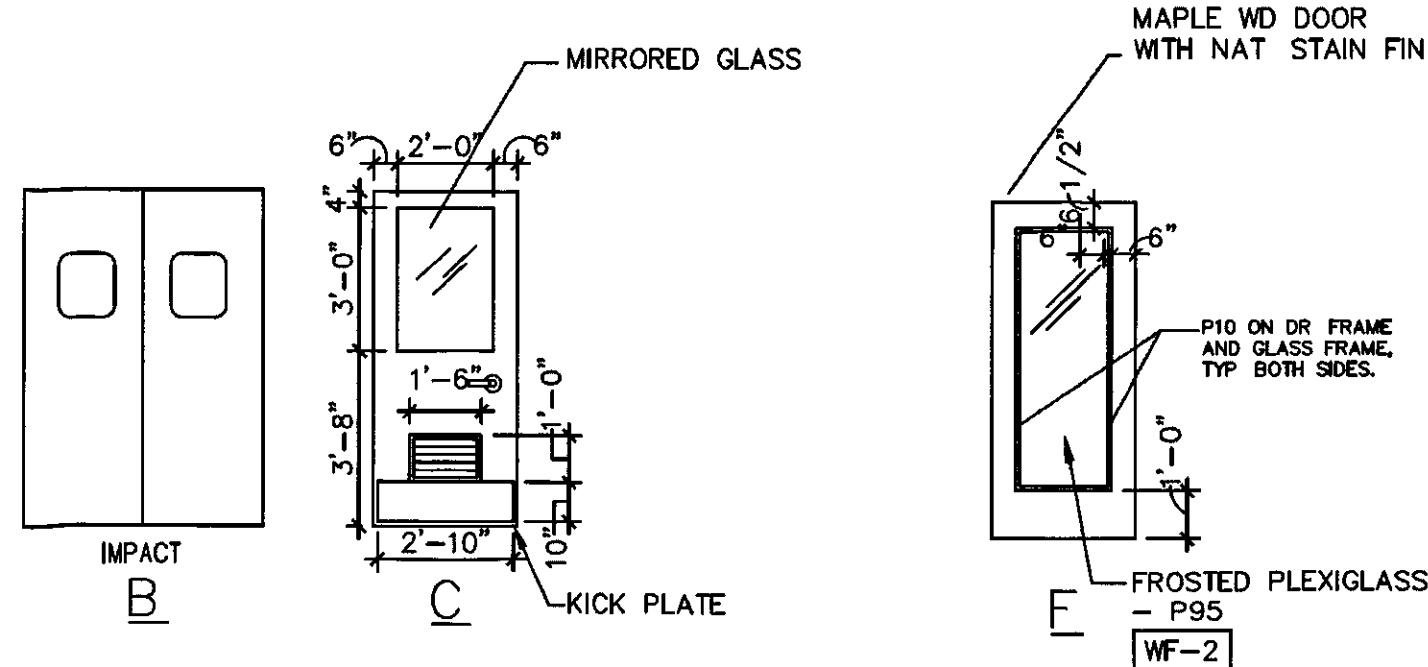


D1 ENLARGED PLAN AT NEW BEAM ABOVE COOLER
1/4" = 1'-0"

D8 WALL STEEL CONNECTION DETAIL FOR STEEL > 69" HIGH
3" = 1'-0"

GENERAL NOTES
A NOT ALL DOOR TYPES ARE USED. REFER TO SHEET A-101 FOR USED DOORS AND LOCATIONS
B NOT ALL DOOR TYPES ARE USED. REFER TO SHEET A-101 FOR USED DOORS AND LOCATIONS

LEGEND



HARDWARE SET NUMBER 3 (#109A, #109B)(LEVER HANDLE)
1 FLOOR BUMPER, 406 1/2 X PA 28 X HB-IVES
1-1/2 PAIR BUTTS, 4-1/2 X 4-1/2 STANLEY FBB 191
X US 260 NRP
1 CLOSER, CORBIN-RUSSWIN DC 6210X 589 X M54
1 LOCK, CORBIN-RUSSWIN CL 3357 NZD X 626 X 2
3/4" B.S. (STOREROOM)
1 LOCK/LATCH GUARD-IVES LG13 US32D
1 KICK PLATE, 10"x34" SERIES 8400

A4 DOOR AND FRAME TYPES
1/4" = 1'-0"
NOTE: NOT ALL DOOR TYPES USED