

**RITE AID #5237 - Tenant Improvement  
5227 Northwest Avenue  
Bellingham, WA 98225**

D1	PROJECT DESCRIPTION	D5	DESIGN-BUILD SYSTEMS	D12	SHEET INDEX
	NONE		NONE		NONE
	<p>TENANT IMPROVEMENT INCLUDES:</p> <ul style="list-style-type: none"> <li>- ENCLOSE EXISTING WAITING ROOM TO CREATE A CONSULTATION ROOM</li> <li>- REORGANIZE STEEL SHELVING LAYOUT</li> <li>- ADD NEW PRINT COUNTER ADJACENT TO EXIST. CHECKSTAND</li> <li>- REPLACING DROP-OFF AND PICK-UP COUNTER TOPS IN PHARMACY WITH NEW</li> <li>- NEW ACCENT FLOORING INSET</li> <li>- EXISTING SAWTOOTH CASHIERS TO REMAIN, REPLACE COUNTER TOPS</li> <li>- RELOCATE ATM MACHINE</li> <li>- PAINTING EXISTING WALLS WITH NEW IMAGE</li> <li>- NEW ELECTRICAL TO ALL REVISIONS IN DRAWINGS AND SCOPE OF WORK FROM RCM</li> <li>- INSTALL NEW 5 DOOR FREEZER IN NEW NON LOAD-BEARING WALL OPENING</li> <li>- RELOCATE EX. 4-DOOR FREEZER IN NEW NON LOAD-BEARING WALL OPENING</li> <li>- REPLACE SELECT WALL SHELVING AND GONDOLAS WITH NEW AS SHOWN ON A101. RELOCATE OTHER SHELVES PER PLAN</li> <li>- INSTALL VERTICAL WALL ABOVE EXIST. COOLERS TO ENCLOSE AREA ABOVE</li> <li>- REFER TO PLANS AND SCOPE OF WORK FOR ADDITIONAL WORK</li> </ul> <p>NO NEW AREA WILL BE ADDED TO THE BUILDING FOOTPRINT. NO REVISIONS ANTICIPATED OUTSIDE FOOTPRINT OF BUILDING.</p>		<p><b>Mechanical (HVAC)</b></p> <p>NO MECHANICAL WORK ANTICIPATED; CONSULTATION ROOM ALREADY HAS SUPPLY/RETURN</p> <p><b>Electrical</b></p> <p>PROVIDE POWER TO ALL NEW AND RELOCATED EQUIPMENT</p> <p><b>Plumbing</b></p> <p>ROUTE CONDENSATE TO NEAREST FLOOR SINK; MOUNT CONDENSER TO RECEIVING RM SHELF AT NEW COOLER. RELOCATE <math>\frac{1}{2}</math>" WATER LINE TO WATER DISPENSER</p> <p><b>Fire Sprinkler Permit</b></p> <p>RELOCATE EXIST. SPRINKLER HEADS ABOVE COOLER WHERE NEW SOFFIT WALL WILL BE INSTALLED AND MODIFY HEADS AS REQUIRED FROM ENCLOSING CONSULTATION ROOM</p> <p><b>Smoke Detection System</b></p> <p>RELOCATE SMOKE DETECTOR STROBES AND HEADS AS REQ'D TO ACCOMMODATE NEW LAYOUT</p>	<p><b>Note:</b></p> <p>LIMITED SCOPE OF THE ABOVE "DESIGN-BUILD" SYSTEMS SHALL BE PROVIDED BASED UPON REVISIONS MADE AT THE PHARMACY WAITING ROOM AREA AND NEW WAITING AREA TO BE RELOCATED TO THE EXISTING SALES ROOM.</p> <p>SALES FLOOR GONDOLAS WILL BE REPLACED AS SHOWN ON A101</p> <p>THE GC SHALL RESEARCH THE REQUIREMENTS FOR EACH OF THE "DESIGN-BUILD SYSTEMS" AND PROVIDE A FULLY OPERATIONAL PROPOSAL CAPABLE OF SATISFYING ALL APPLICABLE CODES, ORDINANCES AND AGENCY INSPECTIONS PRIOR TO SUBMISSION OF BIDS.</p> <p>ANY DEMOLITION WORK REQUIRES CONTRACTOR TO CONTACT THE PUGET SOUND CLEAN AIR AGENCY REGARDING ASBESTOS, LEAD PAINT AND OTHER HAZARDOUS MATERIALS. <a href="http://PSCLEANAIR.ORG/ASBESTOS/ASBE-CONT-INFO.SHTML">HTTP://PSCLEANAIR.ORG/ASBESTOS/ASBE-CONT-INFO.SHTML</a> OR CALL 1-800-552-3565</p>	<p><b>SHEET #</b></p> <p>A-0-00</p> <p>A-0-01</p> <p>A-0-02</p> <p>A-0-03</p> <p>A-1-01</p> <p>A-1-02</p> <p>A-6-01</p> <p>A-8-01</p> <p>3227</p> <p>Northwest</p> <p>Ave</p> <p>BD 204-00396</p> <p><b>SHEET TITLE</b></p> <p>COVER SHEET, SHEET INDEX, PROJECT DESCRIPTION</p> <p>GENERAL INFORMATION, SITE PLAN</p> <p>GENERAL CONDITIONS AND NOTES</p> <p>DEMOLITION FLOOR PLAN</p> <p>PROPOSED FLOOR PLAN</p> <p>ENLARGED PLANS; DETAILS</p> <p>INTERIOR DETAILS, WALL SECTIONS, DETAILS</p> <p>DROP SCHEDULE DETAILS</p> <p>BID ISSUE DATE</p> <p>PERMIT ISSUE DATE</p> <p>REVISION RESUBMITAL</p> <p>CONSTRUCTION ISSUE DATE</p>
1	2	3	4	5	6
7	8	9	10	11	12
13	14	15	16		

# GENERAL WELL BEING REMODEL

The logo for Rite Aid Corporation. It features the word "RITE" in a bold, black, sans-serif font, with a horizontal line extending from the bottom of the "E" to the bottom of the "AID" in the next row. The word "AID" is also in a bold, black, sans-serif font. To the right of "AID", the word "CORPORATION" is written in a smaller, black, sans-serif font, with each word stacked vertically. Below the text is a black horizontal bar with a thin white vertical line running through its center.

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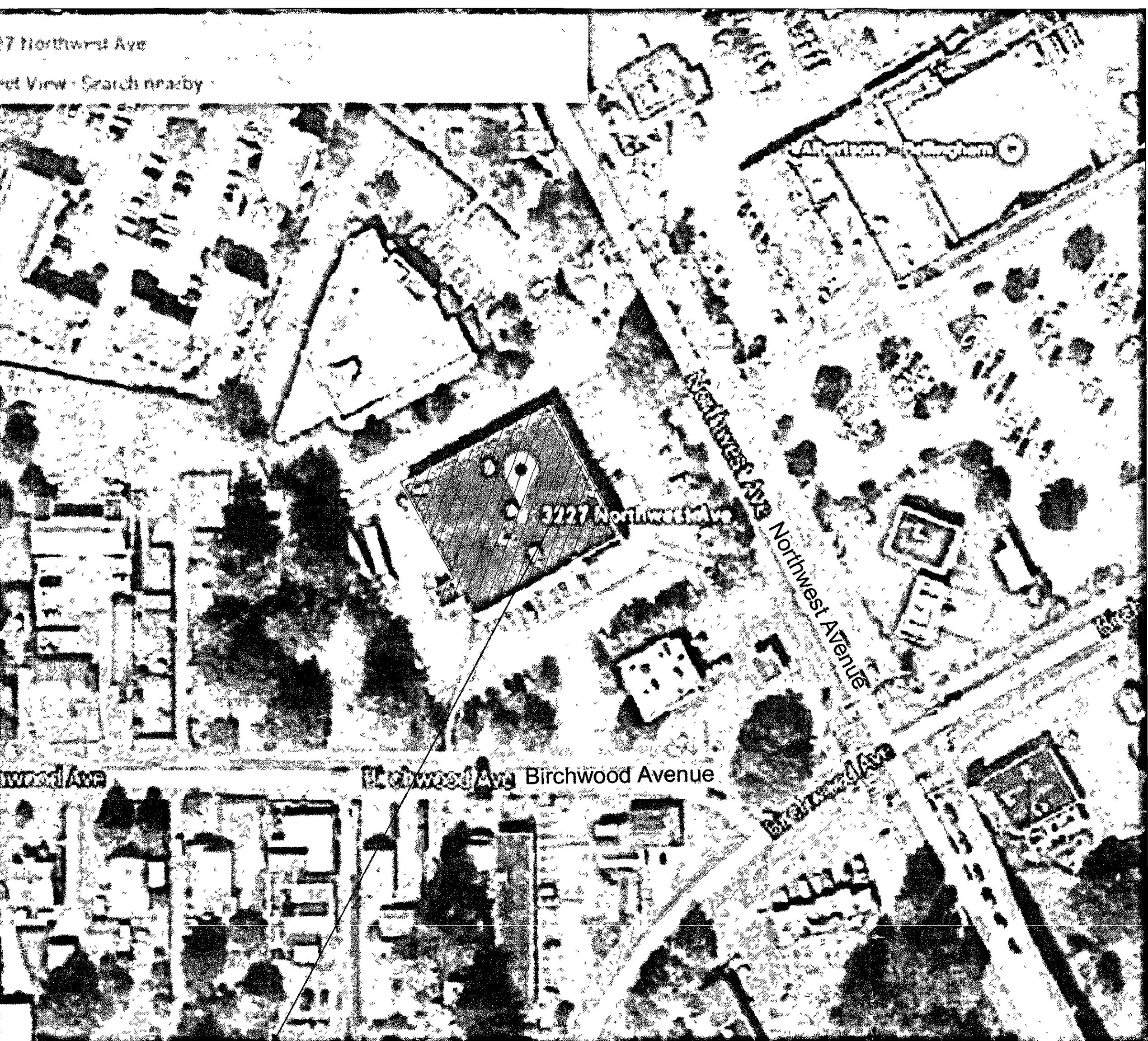
**RITE AID #5237**  
**3227 Northwest Avenue**  
Bellingham, WA 98225

OFFICE COPY

The logo for the City of Bellingham Building Services. It features a blue square with a white border. Inside the square, the words "CITY OF BELLINGHAM" are written vertically in blue, and "BUILDING SERVICES" is written vertically below it in blue. To the left of the square, there is a stylized black graphic element consisting of a circle with a horizontal line through it, and a vertical line extending downwards from the bottom of the circle.

BLD 2014-00396  
PLM 2014-00245

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16				
				PROJECT LOCATION															
				<p>STORE #5237 RITE AID TENANT IMPROVEMENT 3227 NORTHWEST AVENUE BELLINGHAM, WA 98225</p>															
				REFERENCE CODES															
				<p>2012 IBC, WAC 51-50 AMENDMENTS 2012 IBC, WAC 51-52 AMENDMENTS 2012 IBC 2012 UPC, WAC 51-56 &amp; 51-57 2012 IES 2012 NFCC (NFPA 54) WAC 51-52 AMENDMENTS 2012 EEC, WAC 51-11C &amp; 51-11R ICC/ANSI 117.1-2009</p>															
				GROSS TENANT SPACE:															
				<p>FIRST FLOOR 16,235 SF MEZZ 0 SF TOTAL 16,235 SF</p>															
				USE GROUP															
				<p>MERCANTILE (M) VB WITH SPRINKLERS</p>															
				ALLOWABLE HEIGHT & BUILDING AREA															
				<p>BUILDING TYPE VB CONSTRUCTION 9,000 SF / 2 STORIES HEIGHT INCREASE DUE TO SPRINKLERS = NA AREA INCREASE DUE TO FONTAGE = NA AREA INCREASE DUE TO SPRINKLERS = +27,000 (300%) TOTAL AREA ALLOWED = 36,000 SF &gt; 16,235 SF</p>															
				MAXIMUM ALLOWABLE FLAME SPREAD															
				<p>SPRINKLERED BUILDINGS VERTICAL EXITS AND EXIT PASSAGEWAYS CLASS B EXIT ACCESS CORRIDORS AND OTHER EXITWAYS CLASS C ROOMS AND ENCLOSED SPACES CLASS C</p>															
				OCCUPANT LOAD															
				<p>SQ FT PER OCCUPANT = SALES FLOOR = 14,225 / 30 OCCUPANT = 474 OFFICE / SUPPORT 1,056 sq ft / 100 MEZZANINE: NA 10 TOTAL OCCUPANT LOAD 16,235 SF 487 PEOPLE</p>															
				MEANS OF EGRESS															
				<p>OCCUPANT LOAD SALES FLOOR = 487 OCCUPANTS 487 x 20 = 98 INCHES OF WIDTH REQUIRED, 120" PROVIDED NUMBER OF REQUIRED EXITS FROM SALES FLOOR = 2 EXITS (&lt;500 OCCUP. LOAD) REQUIRED WIDTH = 98 INCHES, MIN EXITS PROVIDED: 2 EXITS WITH 120" OF WIDTH, THEREFORE, OK STOCK ROOM REQUIRES (1) EXIT DUE TO OCCUPANT LOAD UNDER 50, 2 PROVIDED REQUIRED EXIT WIDTH FOR STOCK ROOM = 3 X .20 = .6" OR 36" MIN EXIT PROVIDED: 2 EXITS PROVIDED, 72" WIDTH, THEREFORE OK</p>															
				MINIMUM NUMBER OF REQUIRED TOILET FIXTURES															
				<p>EXIST TO REMAIN</p>															
				FIRE RATED ASSEMBLIES															
				<p>VERIFY EXISTING RATING &amp; MAINTAIN RATINGS IF APPLICABLE</p>															
				FIRE PROTECTION SYSTEMS															
				<p>VERIFY EXISTING SPRINKLERS, FIRE ALARM SYSTEMS, MAINTAIN EXISTING SYSTEMS AS REQUIRED</p>															
				SQUARE FOOTAGE OF RENOVATION															
				<p>RENOVATED GROSS AREA: FLOORING, PRINTER COUNTER RELOCATION EQUATES TO: NEW CONSULTATION ROOM 111 SF + 3010 = 3,121 SF</p>															
D1 ABBREVIATIONS				D5 CODE DATA				<p>DETAIL NUMBER SECTION INDICATOR ELEVATION INDICATOR COLUMN GRID REFERENCE</p> <p>① SHEET NUMBER ① SHEET NOTE REFERENCE ① DOOR TAG ① PARTITION TAG ① FURNITURE TAG ① ROOM NAME ① ROOMNAME AND NUMBER ① FINISHES TAG ① REVISION TAG</p>											
NONE				NONE															
VENDOR COMPANY				PRODUCT TYPE				CONTACT				CONTACT NUMBER							
VENDOR 1 ARMSTRONG				CEILINGS				ROB WILLIAMS				877-479-7876 EXT 8052							
VENDOR 2 ARMSTRONG				FLOORING				TONY LANSON				800-556-5301 EXT 8943							
VENDOR 3 ATAS INTERNATIONAL INC.				ROOF COPING				MARK BROWN				800-168-1441 EXT 227							
VENDOR 4 ALP LIGHTING COMPONENTS				SOFT EGG CRATE				CUSTOMER SERVICE				800-237-3938							
VENDOR 5 BESAM AUTOMATED ENTRANCE				AUTO DOORS				PAM HOMYAK				609-443-5800 EXT 2045							
VENDOR 6 BESAM				-				-				-							
VENDOR 7 CARLISLE SYNTEC INC				ROOFING				JOE CARBINE				717-454-7065							
VENDOR 8 CARRIER CORPORATION				HVAC				BILL SAVALL				973-227-4311 EXT 3012							
VENDOR 9 CONSOLIDATED ELECTRICAL DISTRIBUTOR				ELECTRICAL SUPPLIES				KEVIN DOSS				717-754-7566							
VENDOR 10 DEDSOIL				DRIVE THRU EQUIPMENT				JASON HORN				800-828-3655 EXT 128							
VENDOR 11 ELISON CORPORATION				IMPACT DOORS				DAVID HERNZ				800-446-8828 EXT 120							
VENDOR 12 CITADEL				EXTERIOR PANELS				SCOTT MARSHALL				717-330-0808							
VENDOR 13 EMERSON CLIMATE TECH				EMS - INSTALL				-				800-446-8828							
VENDOR 14 EP CORPORATION				COMPUTER BLOCK				MARK MERNER				800-429-4442 EXT 5326							
VENDOR 15 FIRESTONE BUILDING PRODUCTS				ROOFING				CUSTOMER SERVICE REP				610-374-4100							
VENDOR 16 GLEB-SEVY CORPORATION				MASONRY				DIAN STEINBERG				440-942-9118							
VENDOR 17 HADRIAN, INC.				RESTROOM PARTITIONS				KEN GURA				716-657-3650							
VENDOR 18 HILL PHOENIX				COOLER/FREEZER				BETH HORN				951-757-3678							
VENDOR 19 INTERTERRATE BRICK				MOULDING				DANE TRAUTMAN				800-310-4350 EXT. 631							
VENDOR 20 KAMERCO				STOREROOM				KEVIN PLANT				800-753-7505							
VENDOR 21 KOREOSEAL INTERIOR PRODUCTS				WALL COVERINGS				DENNIS LANG				800-899-8916							
VENDOR 22 JOHNSONITE				FLOORING / BASE				KATHY MCGOWAN				307-231-8346							
VENDOR 23 MATWORKS				CARPET				BILL WOODWARD				973-331-8324							
VENDOR 24 MATT				PANELLING				JAME MAYER				610-684-8701							
VENDOR 25 M&B ARCHITECTURAL SPECIALTIES				CHAIR RAIL				ANGELA BURGESS				800-972-1730 EXT 661							
VENDOR 26 OVERHEAD DOOR				RECEIVING DOOR				-				-							
VENDOR 27 NOT USED				-				-				-							
VENDOR 28 SHERWIN WILLIAMS				PAINT				JIM DEEST				724-552-1800 EXT 104							
VENDOR 29 SHERWIN WILLIAMS PLASTIC PRODUCTS				RESTROOM PARTITIONS				GREG BORGIA				800-556-5002 EXT 225							
VENDOR 30 SHERWIN WILLIAMS				ELECTRICAL GEAR				MARK KANNER				519-552-2590							
VENDOR 31 WESTERN EXTRALITE COMPANY				COSMETIC LIGHTS				MARK RITZ				314-332-4560							
VENDOR 32 YOKO INTERNATIONAL CORPORATION				HVAC				ROB TILLOTSON				405-319-6537							
VENDOR 33 YOKO INTERNATIONAL CORPORATION				LIGHTING				S.R. ZIMMERMAN				770-363-3202							
VENDOR 34 GERSHET LIMITED				RESIDENT FLOORING				-				717-330-5033							
VENDOR 35 NOT USED				-				-				-							
VENDOR 36 NOT USED				-				-				-							
NOTE: SEE SHEET A-002 FOR FINISH MATERIAL SCHEDULE																			
A1 VENDOR CONTACTS				A5 SYMBOLS LEGEND				A9 VICINITY MAP				A13 PROJECT TEAM							
NONE				NONE				NONE				NONE				NONE			

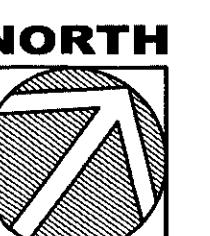
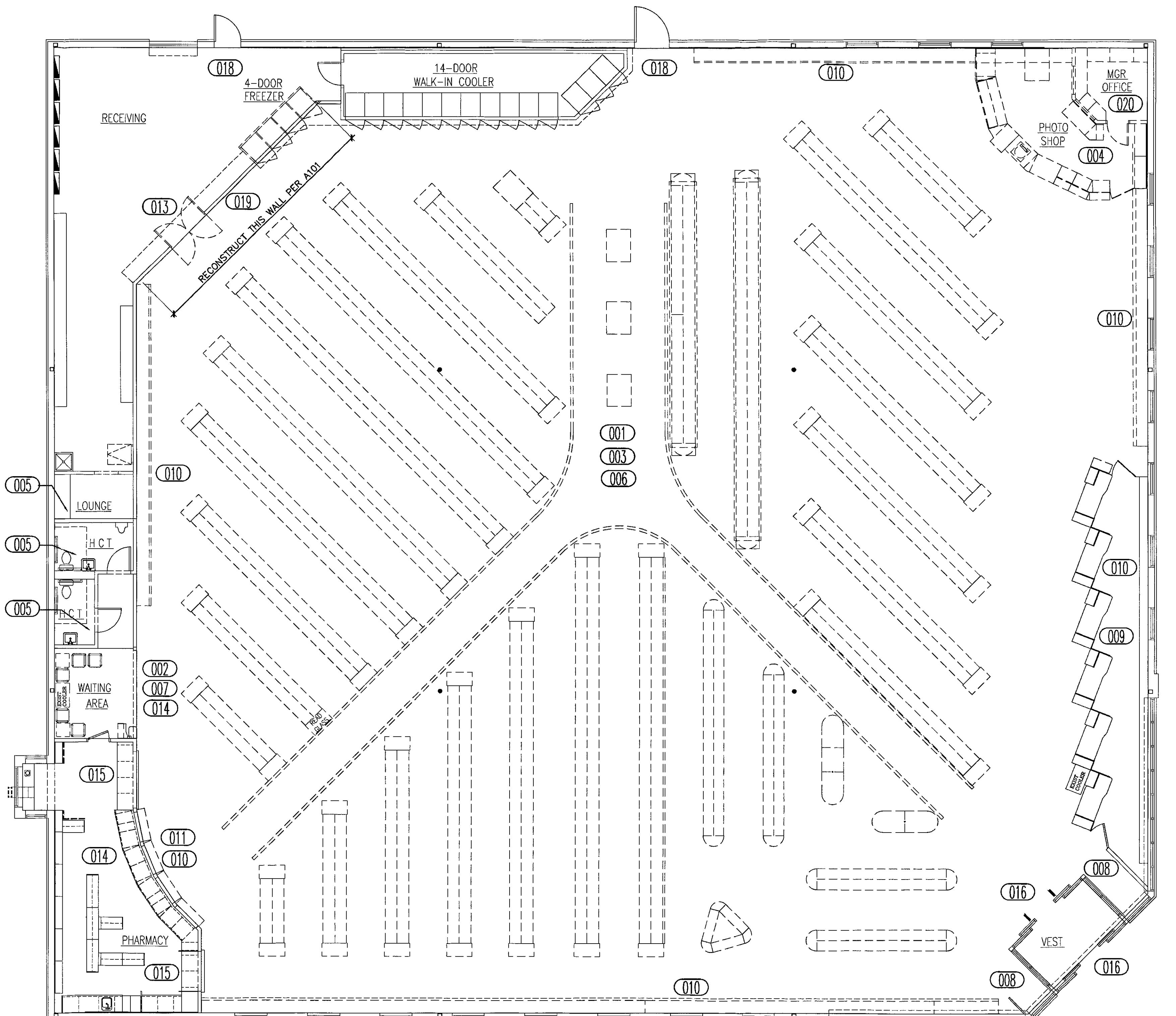


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A) SCOPE OF WORK 1. THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED AND SHALL ALSO PAY FEES REQUIRED FOR THE GENERAL CONSTRUCTIONS, PLUMBING, ELECTRICAL AND HVAC.	B) SCHEDULE WORK WITH RITE AID AND LANDLORD AS NECESSARY	C) CONTRACTOR IS FULLY RESPONSIBLE FOR THE PROJECT SCHEDULE AND ALL MATERIALS AND WORK CONNECTED THEREWITH UNTIL THE OWNER HAS ACCEPTED THE COMPLETED PROJECT IN WRITING. THE CONTRACTOR SHALL REPLACE OR REPAIR AT HIS OWN EXPENSE ANY MATERIALS OR WORK DAMAGED OR STOLEN, REGARDLESS OF WHETHER HE HAS RECEIVED PAYMENT FOR THE WORK OR MATERIALS FROM THE RITE AID CORPORATION.	D) UNLESS OTHERWISE PROVIDED, CONTRACTOR SHALL PROVIDE AT HIS EXPENSE ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, TRANSPORTATION AND UTILITIES INCLUDING COST OF CONNECTION NECESSARY FOR SUCCESSFUL COMPLETION OF THE PROJECT	E) CONTRACTOR SHALL INSTALL CERTAIN ITEMS AS SPECIFIED TO BE FURNISHED BY THE RITE AID CORPORATION, OR SHALL RECEIVE AND STORE IN SAFE CONDITION CERTAIN OTHER ITEMS WHICH WILL BE PURCHASED DIRECT BY RITE AID CORPORATION	F) CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS IN SET. PROVIDE SHOP DRAWINGS AS REQUIRED.	G) CONTRACTOR SHALL SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS INCLUDING ALL ADDENDUMS. ALL ADDITIONAL DOCUMENTS REQUIRED FOR PERMITS ARE TO BE SUPPLIED BY THE CONTRACTOR.	H) CONTRACTOR TO PROVIDE A COMPLETE BUILDING WITH ALL FINISHES AND ELECTRICAL COMPONENTS AS SHOWN OR INDICATED ON DRAWINGS. CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON DRAWINGS AND WRITTEN	I) THERE ARE TO BE NO CHANGES IN THE FOLLOWING SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS UNLESS APPROVED IN WRITING BY RITE AID CORPORATION	J) CHANGES AS STATED ABOVE WOULD INCLUDE ANY VARIATION OF MATERIALS, PRODUCTS, MANUFACTURERS, OR CONSTRUCTION SHOWN, IMPLIED OR WRITTEN IN THIS CONSTRUCTION DOCUMENTS SET	K) GENERAL CONTRACTOR TO FURNISH SUBCONTRACTORS AND RELATED PARTIES WITH COMPLETE SET OF DRAWINGS. NO PARTIAL SET OR SHEETS REMOVED FROM SET WILL BE PERMITTED	L) GENERAL CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR AND EQUIPMENT TO COMPLETE ALL WORK AND FURNISH A COMPLETED JOB ALL IN ACCORDANCE WITH LOCAL AND STATE GOVERNING AUTHORITIES AND OTHER AUTHORITIES HAVING LAWFUL JURISDICTION OVER THE WORK	M) 2) DEFINITIONS A RITE AID - THE CORPORATE ENTITY OF RITE AID CORPORATION.	N) CONSTRUCTION MANAGER - RITE AID DESIGNATED REPRESENTATIVE IDENTIFIED IN CONTRACT DOCUMENTS.	O) CONTRACTOR - THE CONTRACTOR IS THE PERSON OR ORGANIZATION IDENTIFIED AS SUCH IN THE AGREEMENT.	P) SUBCONTRACTOR - THE PERSON, FIRM OR CORPORATION SUPPLYING DIRECT OR INDIRECT LABOR AND/OR MATERIALS AT THE SITE OF THE PROJECT AND UNDER SEPARATE CONTRACT OR AGREEMENT WITH THE CONTRACTOR.	Q) THE WORK - THE WORK INCLUDES ALL LABOR NECESSARY TO PRODUCE THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS AND ALL MATERIALS AND EQUIPMENT INCORPORATED OR TO BE INCORPORATED IN SUCH CONSTRUCTION	R) REQUIREMENTS BEFORE SUBMITTING BIDS A. DRAWINGS AND BIDDING LOCATIONS THEREON SHALL BE THOROUGHLY EXAMINED IN RELATION TO CONDITIONS WHICH MIGHT DIRECTLY EFFECT THE CONTRACT WORK. THE BID SUM SHALL REFLECT ALL SUCH EFFECTING CONDITIONS. BIDDERS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WHICH MAY AFFECT THE WORK.	S) DRAWINGS DO NOT TAKE PRECEDENCE OVER SPECIFICATIONS ANY CONFLICTS BETWEEN OR WITHIN THE DRAWING AND SPECIFICATIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE RCM AND ARCHITECT. UNLESS DIRECTED OTHERWISE, THE MOST STRINGENT CONDITION SHALL APPLY.	T) ANY CONTRADICTIONS BETWEEN SPECIFICATION SHEETS AND CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RITE AID CONSTRUCTION MANAGER FOR VERIFICATION	U) ANY AND ALL ERRORS, DISCREPANCIES AND "MISSED" ITEMS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PROCESS BY THE CONTRACTOR. ALL THESE ITEMS ARE TO BE INCLUDED IN BID. NO "EXTRA" WILL BE ALLOWED FOR MISSED ITEMS.	V) GENERAL CONTRACTOR TO REVIEW ALL DRAWINGS IN SET	W) GENERAL CONTRACTOR TO PROVIDE A COMPLETE BUILD-OUT WITH ALL FINISHES, MECHANICAL AND ELECTRICAL COMPONENTS AS SHOWN OR INDICATED ON DRAWINGS. GENERAL CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON DRAWINGS AND WRITTEN IN SPECIFICATIONS, UNLESS NOTED OTHERWISE.	X) ALL ITEMS SHOWN ON DRAWINGS ARE TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE	Y) 4) INTERPRETATION OF DRAWINGS AND DOCUMENTS: A. IF THE BIDDER IS IN DOUBT AS TO THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS OR FINDS ERRORS, DISCREPANCIES OR OMISSIONS IN THEM, THEY SHALL AT ONCE REQUEST INTERPRETATION OR CORRECTION THEREOF BY THE ARCHITECT OR CONSTRUCTION MANAGER.	Z) 5) CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CURRENT SET OF DRAWINGS ON SITE AT ALL TIMES AND TO INSURE THE DISTRIBUTION OF NEW DRAWINGS TO SUBCONTRACTORS AND OTHER RELEVANT PARTIES AS SOON AS THEY ARE MADE AVAILABLE. ALL OLD DRAWINGS ARE TO BE MARKED VOID, REMOVED FROM THE SITE AND RENDERED USELESS.	A. CONTRACTOR IS RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	B. CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING AND CONTENTS WHILE WORK IS BEING DONE AND FOR SECURING BUILDING WHEN WORK IS FINISHED FOR DAY	C. GENERAL CONTRACTOR (GC) & ALL SUB-CONTRACTORS SHALL WEAR IDENTIFICATION TAGS WITH FULL NAME AND THE COMPANY THEY WORK FOR AND SHALL BE VISIBLE ON EACH CREW MEMBER WORKING. GC SHALL BE RESPONSIBLE FOR COORDINATING THIS WITH ALL THEIR SUBS	D. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING WORK - ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE.	E. PROTECTION ADJACENT PROPERTY - CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR ADJACENT PROPERTY AND LATERAL SUPPORT THEREOF	F. ACCEPTANCE OF WORK AND EXISTING CONDITIONS - APPLICATIONS OF MATERIALS TO SURFACES EXISTING OR PROVIDED SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. CONTRACTOR SHALL REPLACE AT HIS COST AND EXPENSE ANY WORK THAT IS APPLIED TO IRREGULAR OR NON-CONFORMING SURFACES	G. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL CONSTRUCTION RELATED RUBBISH FROM UNDER AND ABOUT THE BUILDING. ALL HIS TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS SHALL BE REMOVED. THE CONTRACTOR SHALL LEAVE THE AREAS OF THE BUILDING WHERE CONSTRUCTION RELATED ACTIVITIES OCCURRED CLEAN AND HABITABLE. ALL SURFACES SHALL BE WIPE CLEAN OF DUST AND ALL WINDOWS CLEANED	H. CONTRACTOR FAILS TO CLEAN UP, RITE AID MAY DO SO AND THE COST THEREOF WILL BE CHARGED TO THE CONTRACTOR	I. CONTRACTOR IS RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	J. CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING AND CONTENTS WHILE WORK IS BEING DONE AND FOR SECURING BUILDING WHEN WORK IS FINISHED FOR DAY	K. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	L. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	M. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	N. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	O. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	P. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	Q. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	R. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	S. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	T. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	U. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	V. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	W. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	X. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	Y. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	Z. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	AA. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	BB. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	CC. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	DD. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	EE. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	FF. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	GG. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	HH. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	II. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	JJ. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	KK. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	LL. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	MM. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	NN. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	OO. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	PP. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	QQ. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	RR. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	SS. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	TT. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	UU. CONTRACTOR SHALL BE RESPONSIBLE FOR OVERSEEING ALL ASPECTS OF SUBCONTRACTOR'S WORK	VV. 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A1 DEMOLITION PLAN  
1/8" = 1'-0"

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DEMOLITION NOTES:

- 001 REFER TO OVERALL PLAN, SHF A101 FOR WORK RELATED TO REMOVAL AND REPLACEMENT/RELOCATION OF STEEL FIXTURES SHOWN DASHED
- 002 REMOVE EXISTING WAITING ROOM CARPET, CHAIR RAILS, CHAIRS, AND VERIFY WITH RCM SCOPE IF MARLITE PANELS ARE TO BE REPLACED WITH NEW ARTISAN MONTEREY SAND
- 003 REMOVE EXIST FLOOR TILES AS REQUIRED TO ACCOMMODATE THE NEW FLOOR TILE INSET PATTERN ON A101, IF SHOWN
- 004 REMOVE EXISTING PHOTO DEPARTMENT CASEWORK, CHEM. FLOORING, SHELVING AND EQUIPMENT SHOWN DASHED DISCUSS WITH RCM HOW TO REMOVE AND DISPOSE OF PHOTO EQUIPMENT, EX CHECKSTANDS TO REMOVE
- 005 REFER TO A101 AND REMOVE ACCESSORIES SPECIFIED AND REPLACE WITH MODEL SHOWN, AT HTS SPECIFIED AT LOUNGE AND TOILET ROOMS AT LOUNGE, REMOVE EXIST COUNTERS SHOWN DASHED
- 006 REFER TO RCM SCOPE OF WORK FOR QUANTITY OF REPLACEMENT CLO AND FLOOR TILES REMOVE EXISTING FLOORING AND CEILING TILE PER RCM'S BUDGETED AMOUNT, THAT ARE IN DISREPAIR AND REPLACE AS NEEDED
- 007 EXIST BLOOD PRESSURE MACHINE AND WATER DISPENSER TO BE RELOCATED PER A101
- 008 EXIST CART CORRAL TO REMAIN ADJACENT TO CHECKSTANDS, REMOVE CART CORRAL RAILS AT OPPOSITE SIDE
- 009 EXIST CHECKSTANDS TO REMOVE, REMOVE COUNTERTOPS TO REPLACE WITH NEW PER A101
- 010 REMOVE EXIST PERIMETER WALL STEEL AND LIGHTED VALANCE SHOWN DASHED RETAIN EX LIGHTED VALANCE TO REINSTATE AT PERIMETER WALL STEEL ON A101
- 011 CLEAN UP PHARMACY FRONT WALL TO PREPARE SURFACE FOR NEW WALL PAPER, REMOVING ALL WALL STEEL IN FRONT REMOVE EX. DROP OFF AND PICK UP COUNTERTOPS AND REPLACE WITH NEW PER SCOPE OF WORK, REMOVE CARPET TO PREPARE FOR NEW PER A101
- 012 EXIST WALK-IN COOLERS TO REMAIN, REMOVE PORTIONS OF METAL ROOF AS REQ'D TO INSTALL NEW VERTICAL FASCIA WALL PER A101
- 013 REMOVE EX. ELASION DOOR AND RELOCATE TO LOCATION SHOWN ON A101 SPACKLE, BONDO AND PAINT FRAME AS REQ'D
- 014 REMOVE EXIST CARPET AT PHARMACY AND WAITING AREA AS REQ'D TO PREPARE FLOOR SURFACE FOR NEW CARPET PER A101
- 015 REMOVE AND REPLACE EXISTING DROP OFF AND PICK UP COUNTER TOPS AT EXISTING PHARMACY
- 016 EXIST STOREFRONT DOORS TO REMOVE
- 017 EXIST ELASION DOOR TO REMAIN UNLESS OTHERWISE SPECIFIED IN RCM SCOPE OF WORK
- 018 EXIST EXIT DOORS TO REMOVE
- 019 SHORE EX. NON LOAD-BEARING WALL, REMOVE PORTION AS REQ'D TO ACCOMMODATE NEW OPENING FOR FREEZERS ON A101
- 020 EXIST MANAGER'S OFFICE TO REMOVE

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A-003

**RITE AID**  
CORPORATION

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REVISIONS  
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SUBMIT FOR PERMIT  
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Project No  
14-4236

Title  
DEMOLITION PLAN

Drawn  
Checked  
Approved  
H.G.K.

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Revised  
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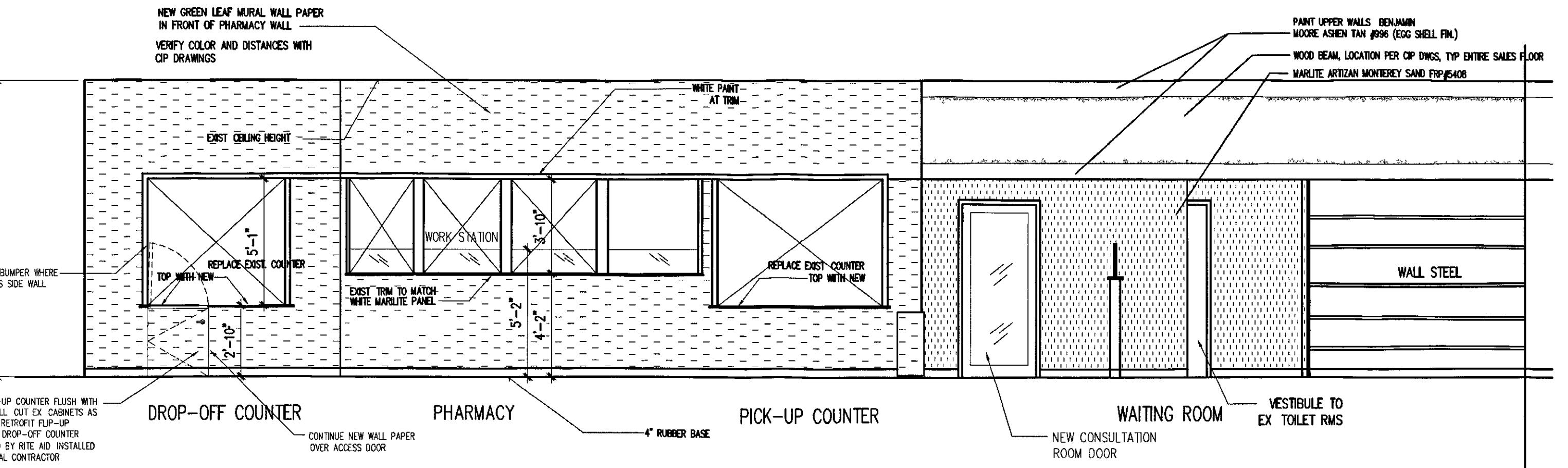
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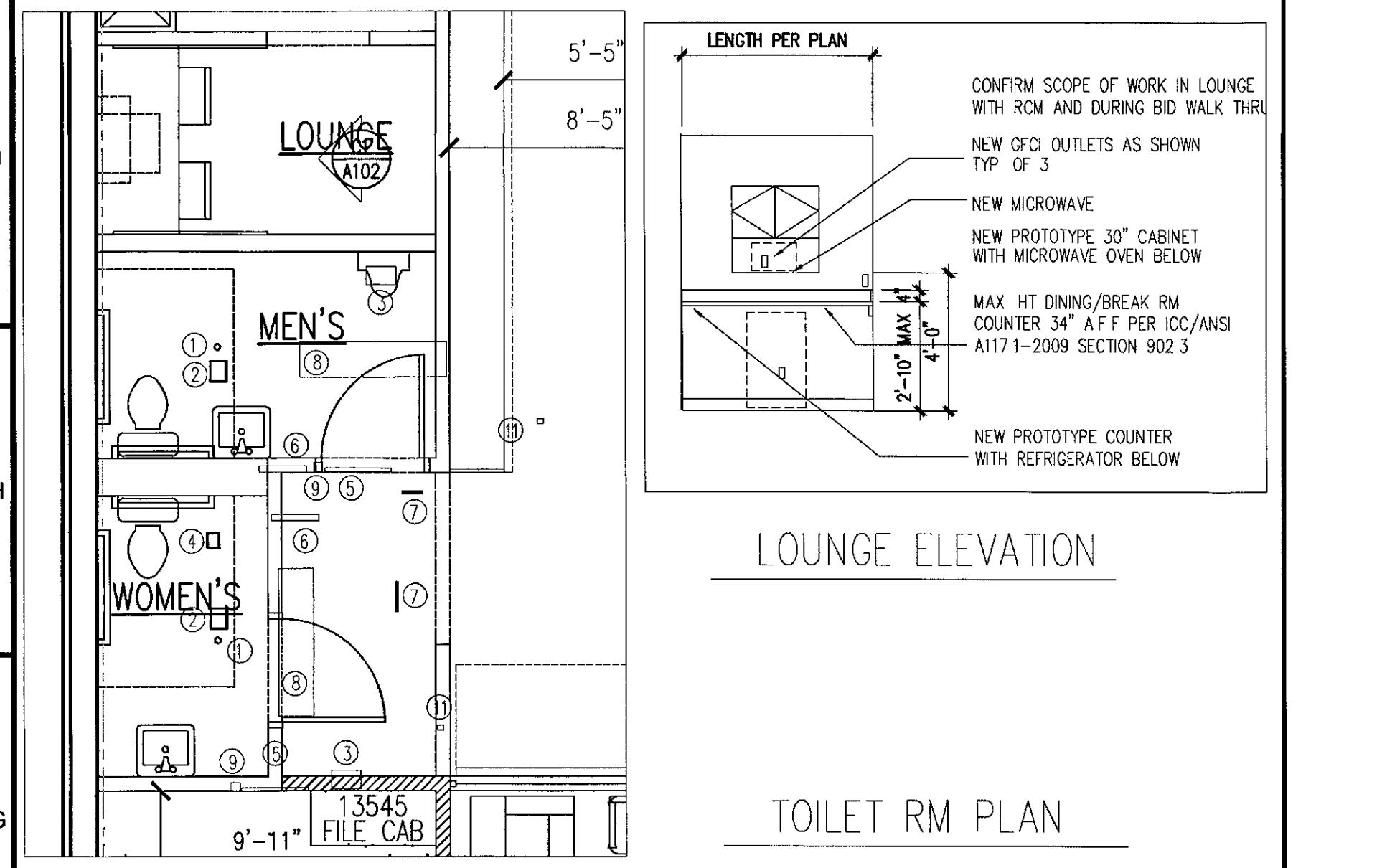
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F1 EXISTING FRONT PHARMACY WALL FINISH TREATMENT

1/4" = 1'-0"

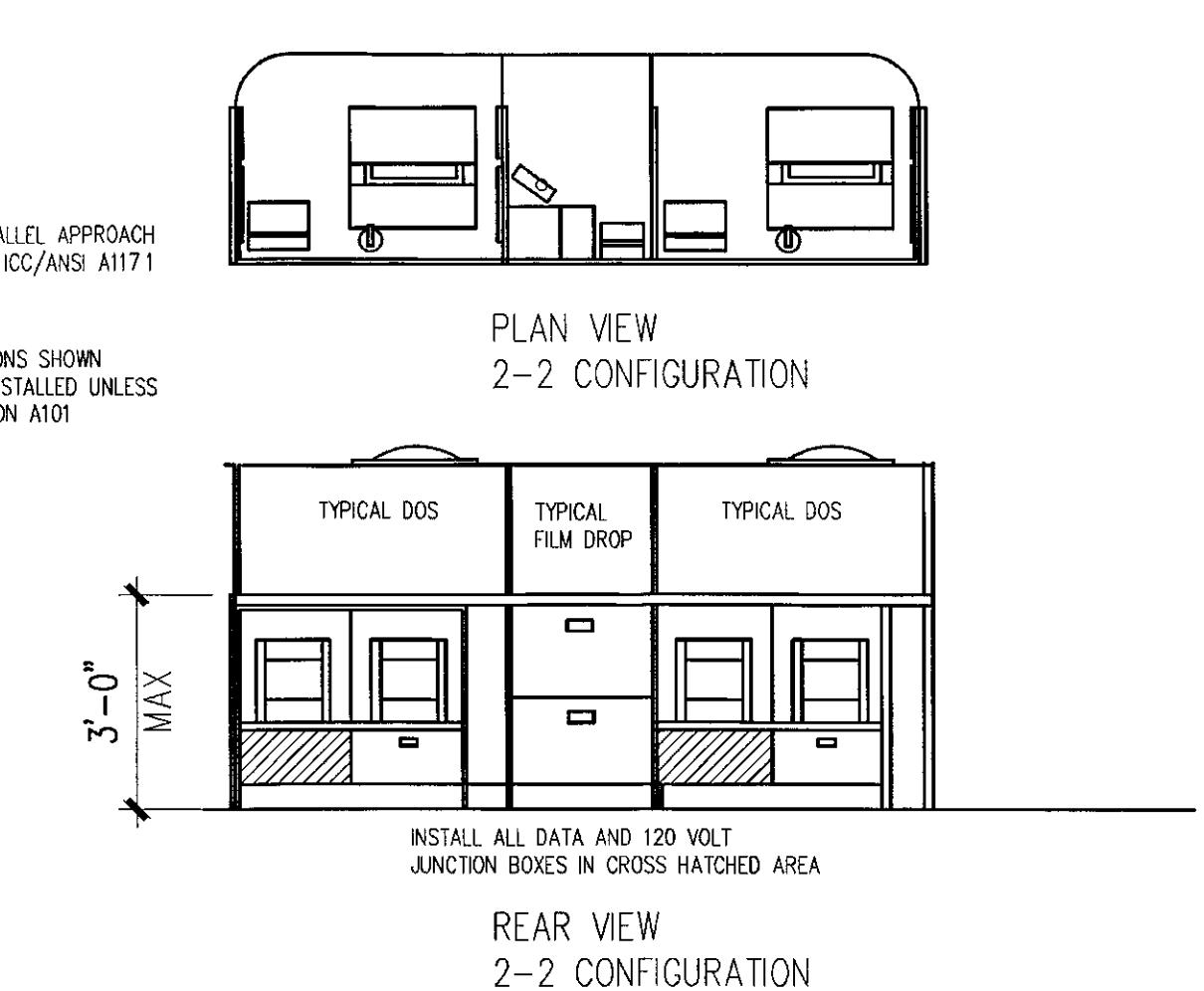


C1 TOILET ROOM / LOUNGE PLAN & ELEVATIONS

C5 PRINTER COUNTER ELEVATION

NTS

NTS



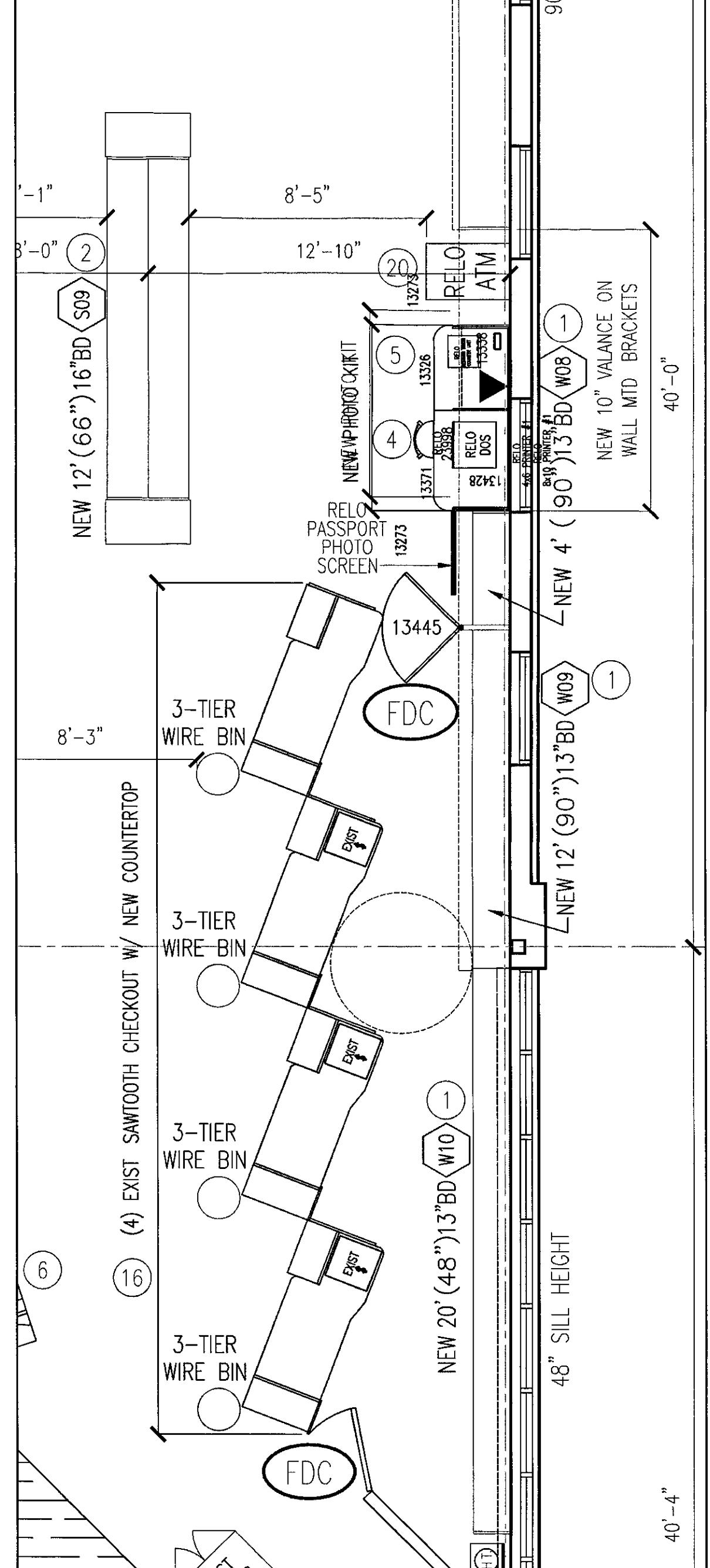
NOTE  
G.C. TO VERIFY ALL NEW EQUIPMENT  
BEING INSTALLED IN PHOTO DEPT. AND  
CONFIRM ELECTRICAL REQUIREMENTS PRIOR  
TO BIDDING TO ACCOMMODATE NEW EQUIPMENT

REFER TO GENERAL CONSTRUCTION NOTES ON  
SHEET A101 FOR ADDITIONAL INFORMATION

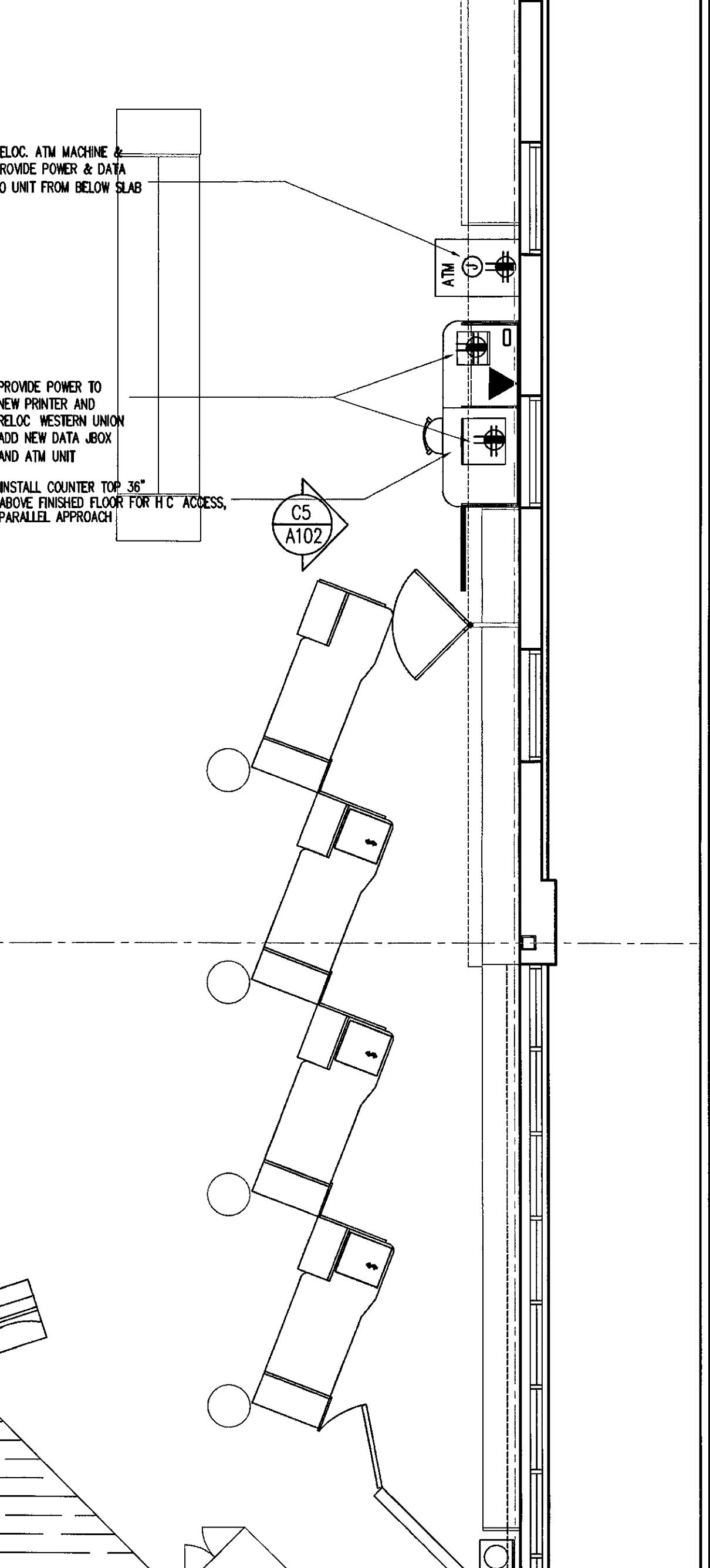
PROVIDE NEW TELEPHONE DATA LINE AND  
POWER FOR RELOC WESTERN UNION UNIT  
SEE A102 FOR NEW LOCATION AT CHECKSTAND

PROVIDE NEW OUTLET PER NEW COOLER  
ALONG EXTERIOR WALL AS NEEDED, SEE A101  
IF EXIST. OUTLETS ARE IN CORRECT LOC. AND  
ARE ON SEPARATE CIRCUITS, THEY MAY BE  
REUSED. VERIFY PRIOR TO SUBMISSION OF BID

PROVIDE POWER FOR OVERHEAD VALANCE  
SEE OVERALL FLOOR PLAN A101 FOR NEW  
WALL STEEL/VALANCE



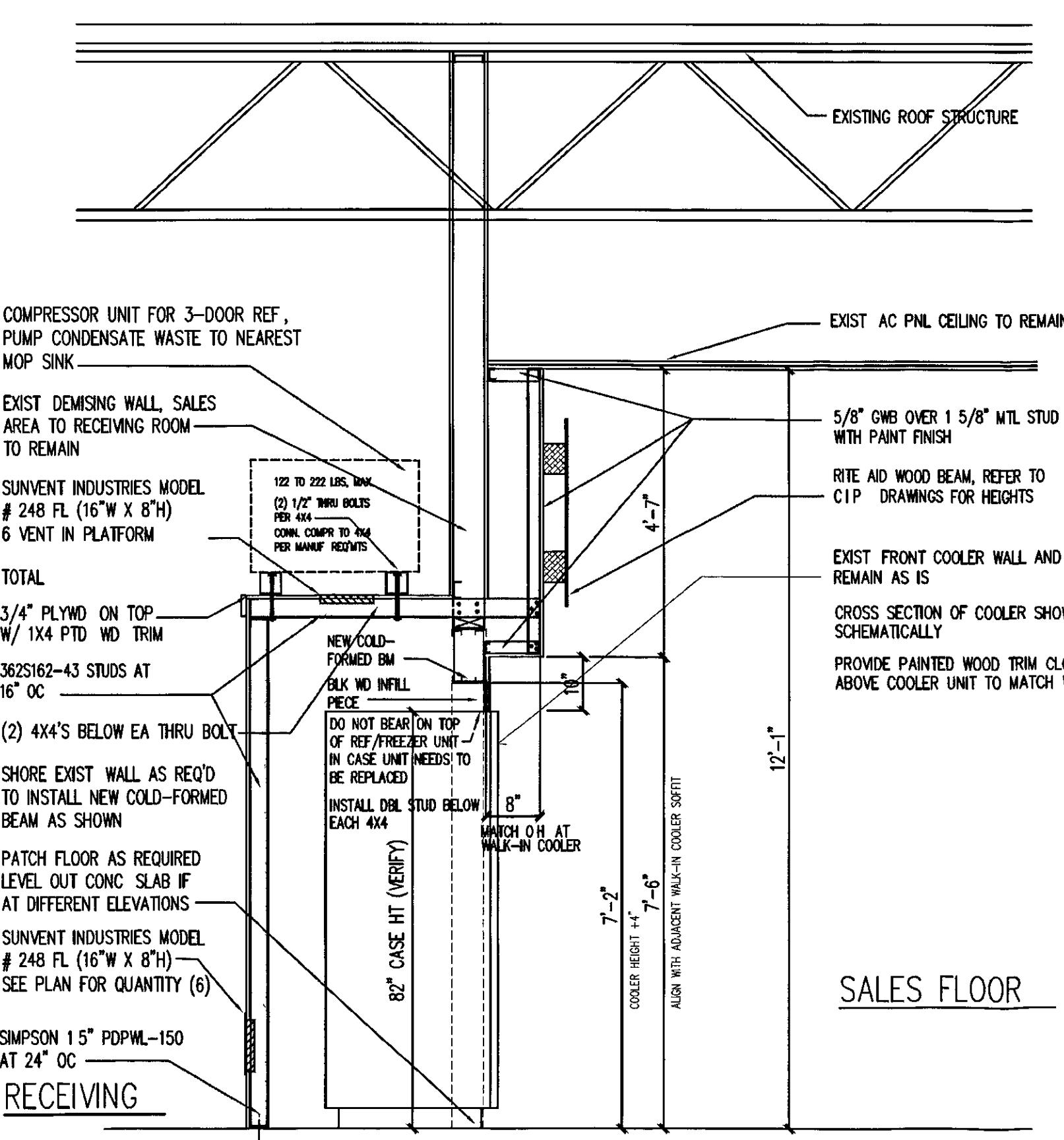
ENLARGED CHECKSTAND AND PRINTER STATION



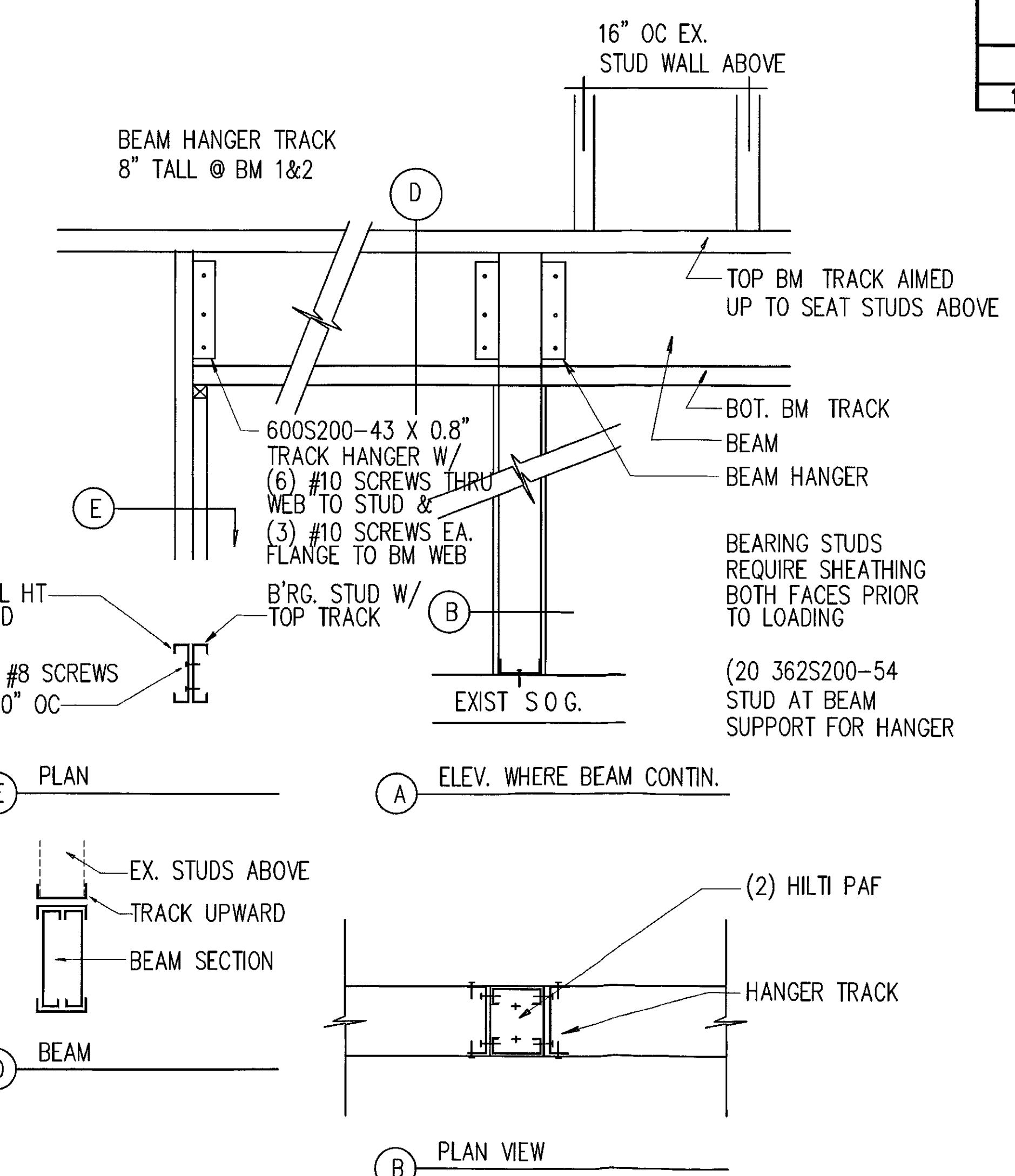
SCHEMATIC POWER AT CHECKSTAND AND PRINT STATION

F11 CHECKSTANDS / SCHEMATIC POWER / DATA - PHOTO COUNTER

1/4" = 1'-0"



SEE A6, THIS SHEET  
FOR BEAM CONNECTION DETAILS



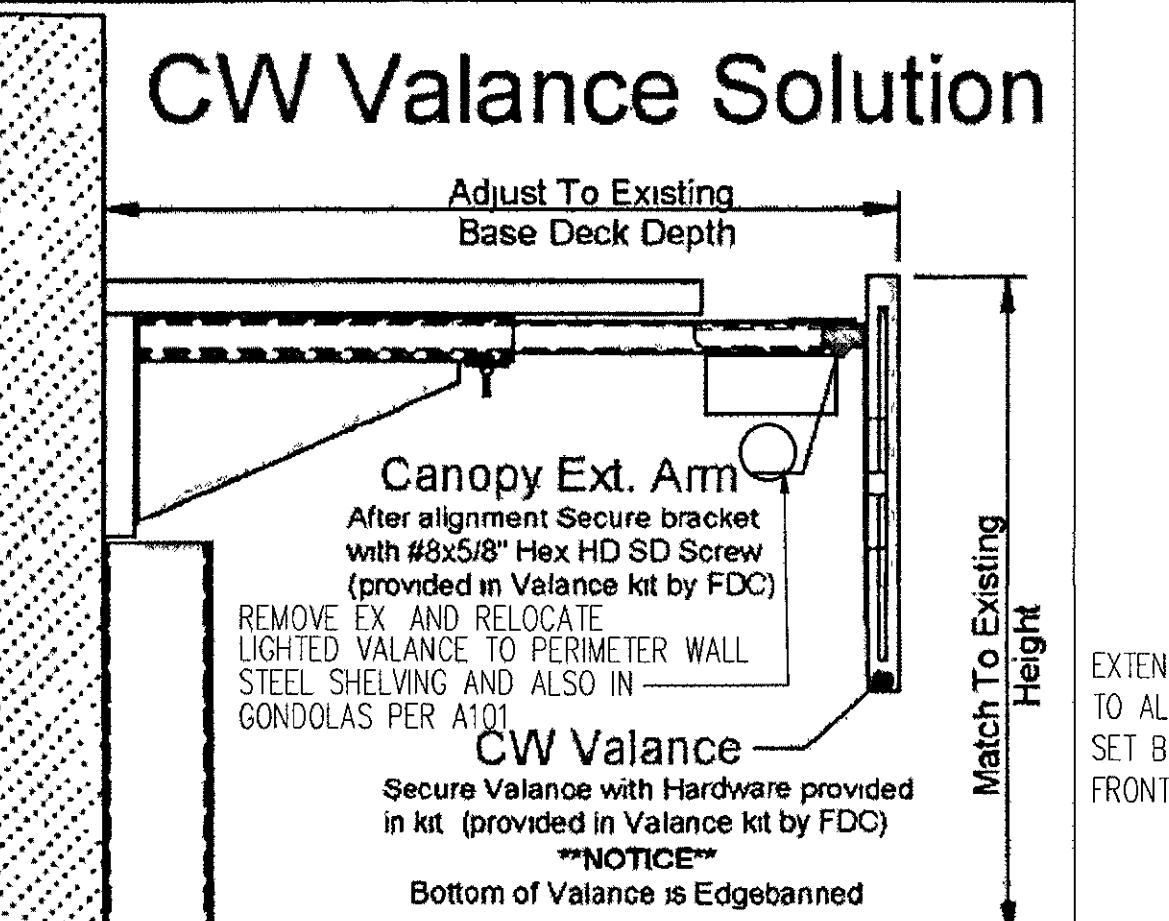
A1 COOLER VALANCE DETAIL

NTS

NTS

A6 NON LOAD-BEARING BEAM / COLUMN CONNECTIONS

NTS

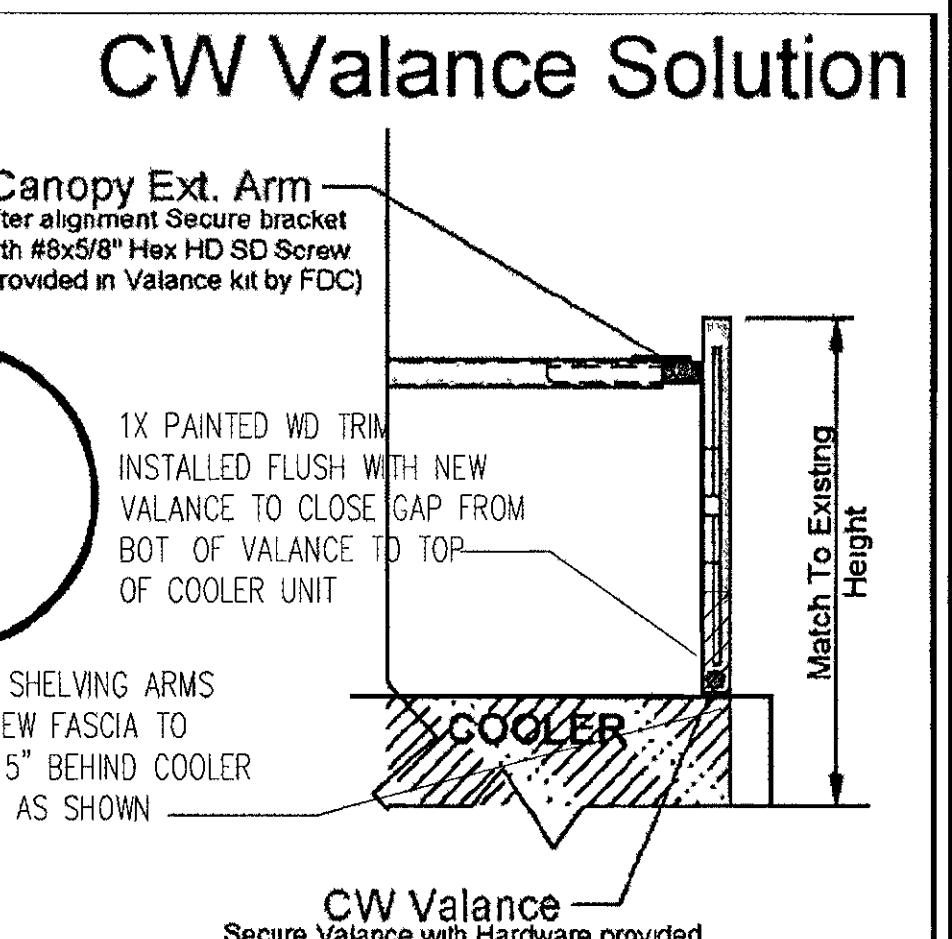


\*lights are not shown

Parts for CW Valance  
(provided by FDC)

PN: 23932 Canopy Extension Arm (1 per bracket)  
PN: 13342 Oxygen Return Valance 3/4" x 9-3/4" x 48"  
PN: 13345 Oxygen Valance 3/4" x 9-3/4" x 95"  
PN: 23936 Valance Hardware Kit (1 per EC store, 2 per WC store)

\*\*New Installation Only\*\*  
PN: 23977 CW Valance Wall Mount Bracket SET



CW Valance  
Secure Valance with Hardware provided  
in kit (provided in Valance kit by FDC)  
\*\*NOTICE\*\*  
Bottom of Valance is Edgebanded

CW Valance  
Secure Valance with Hardware provided  
in kit (provided in Valance kit by FDC)  
\*\*NOTICE\*\*  
Bottom of Valance is Edgebanded

CW Valance  
Secure Valance with Hardware provided  
in kit (provided in Valance kit by FDC)  
\*\*NOTICE\*\*  
Bottom of Valance is Edgebanded

CW Valance  
Canopy Ext. Arm  
After alignment Secure bracket  
with #8x5/8" Hex HD SD Screw  
(provided in Valance kit by FDC)

1X PAINTED IN. TRIM  
INSTALLED FLUSH WITH NEW  
VALANCE TO CLOSE GAP FROM  
BOT OF VALANCE TO TOP  
OF COOLER UNIT

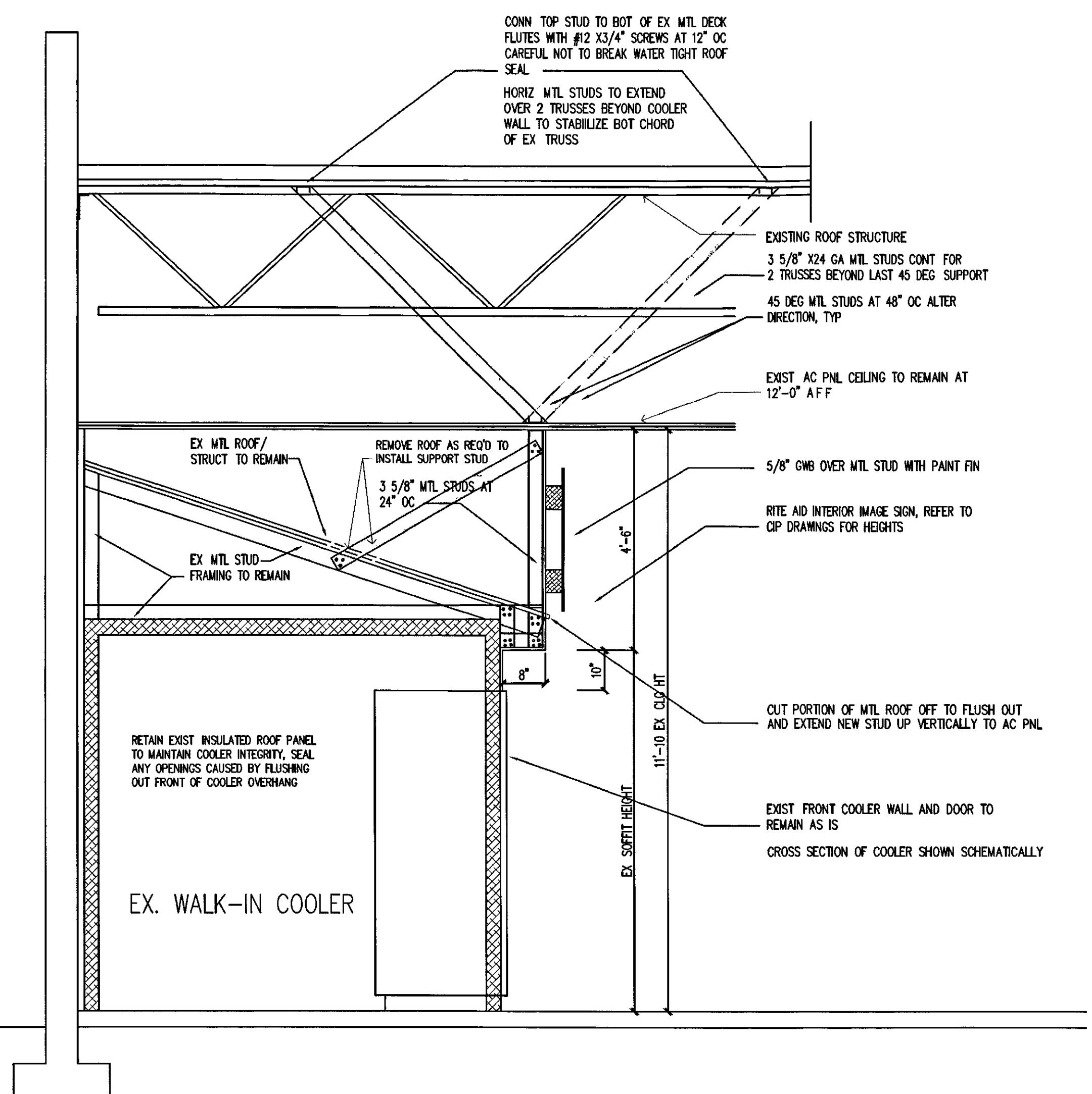
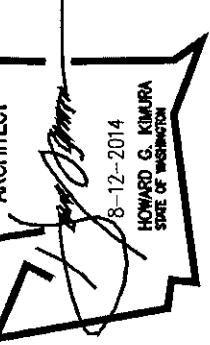
EXTEND STL SHELVING ARMS  
TO ALLOW NEW FASCIA TO  
SET BACK 1 5/8" BEHIND COOLER  
FRONT FACE AS SHOWN

Match To Existing  
Height

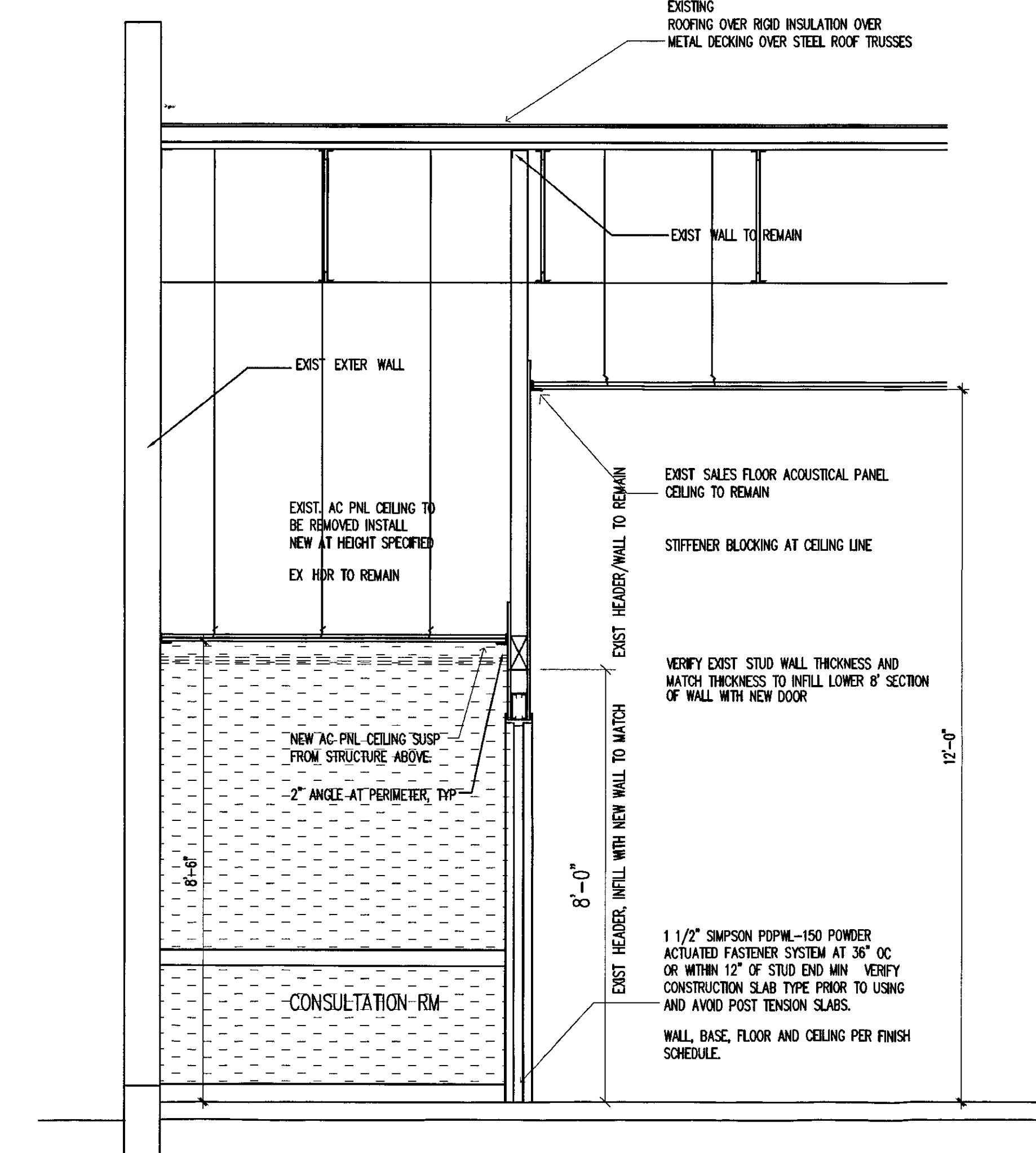
COOLER

Match To Existing  
Height

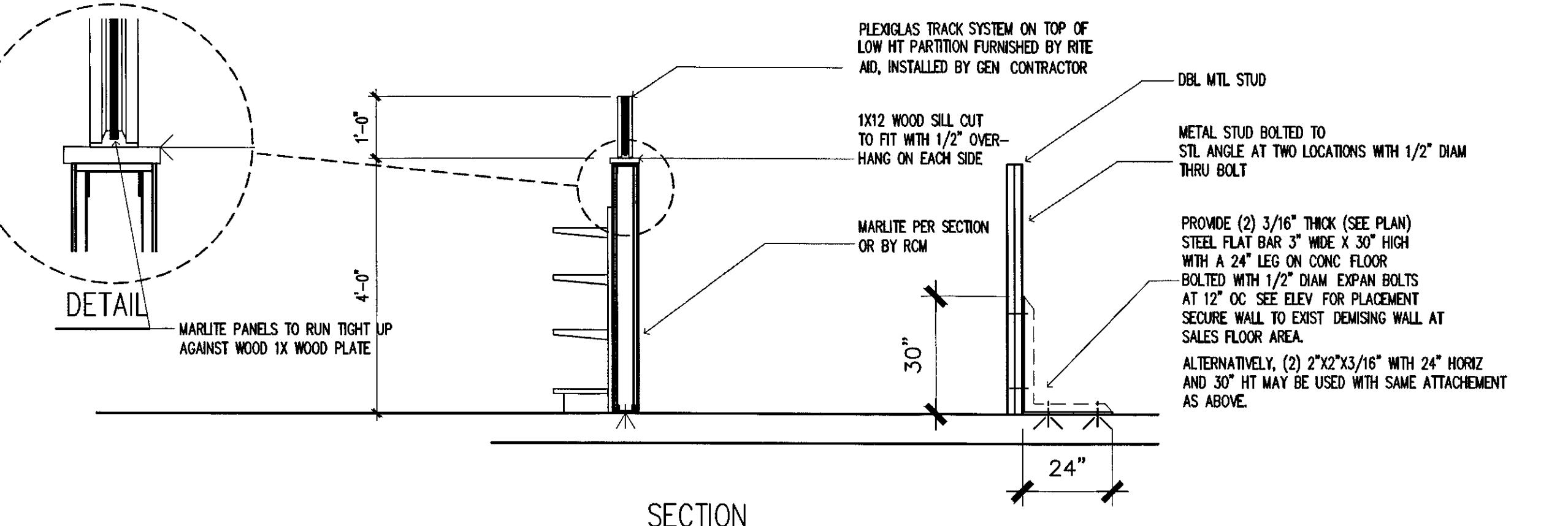
Match To Existing<br



G5 SECTION THRU EX. WALK-IN COOLER UNIT

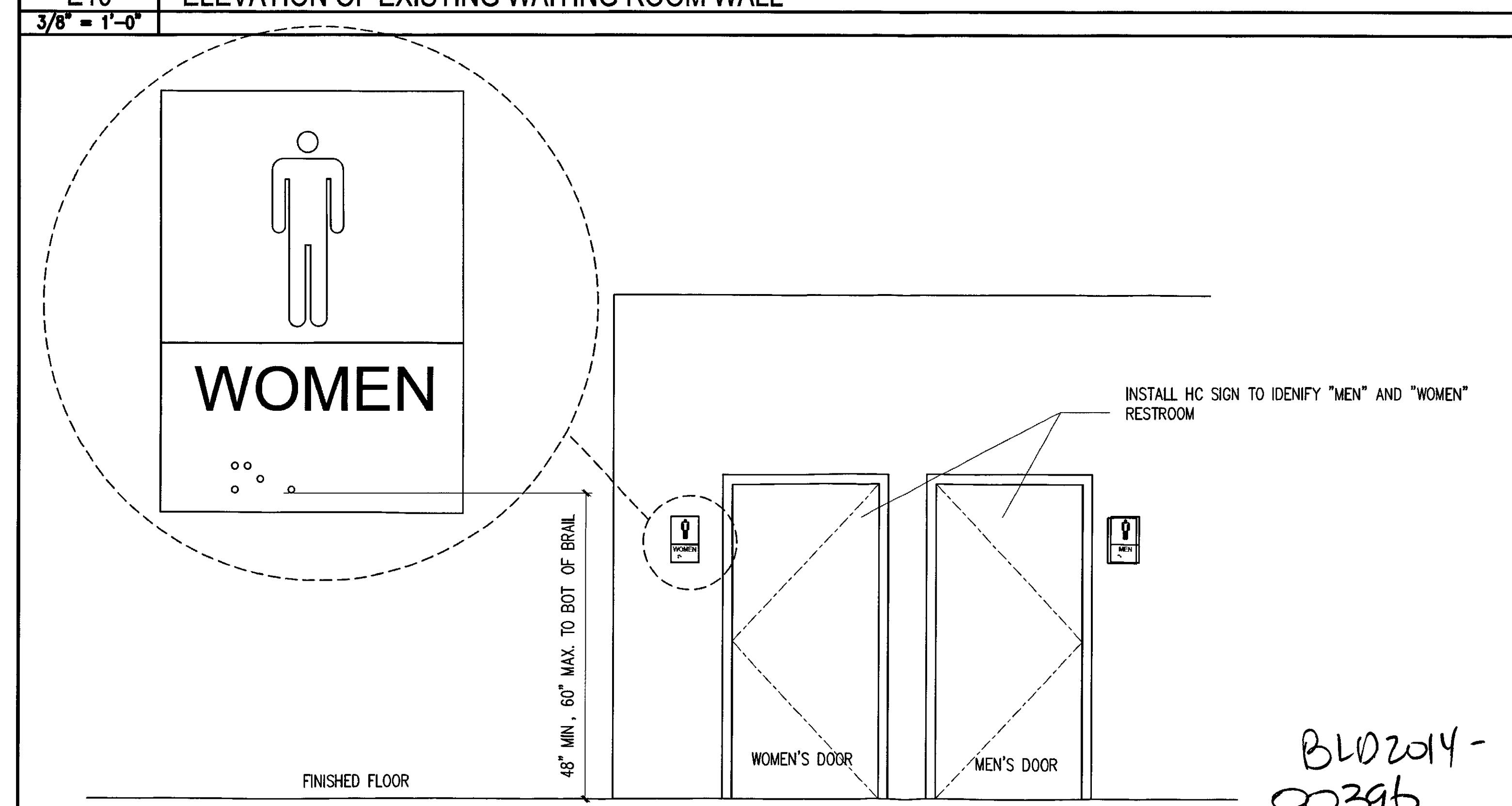


A1 CONDENSER ROOF TOP DETAILS



A10 SECTION

E10 ELEVATION OF EXISTING WAITING ROOM WALL



A10 HANDICAP SIGNAGE AT TOILET ROOMS



RITE AID #5237  
3227 Northwest Avenue  
Bellingham, WA 98225

**RITE AID**  
CORPORATION

GENERAL  
WELL BEING  
REMODEL

REVISIONS  
Date: 8-12-2014  
SUBMIT FOR PERMIT  
ISSUE FOR BID

Drawn  
Checked  
Approved  
HGK  
Project No  
14-6236

Title  
DOOR SCHEDULE,  
DETAILS, AND  
PARTITION TYPES

Sheet No

A-801

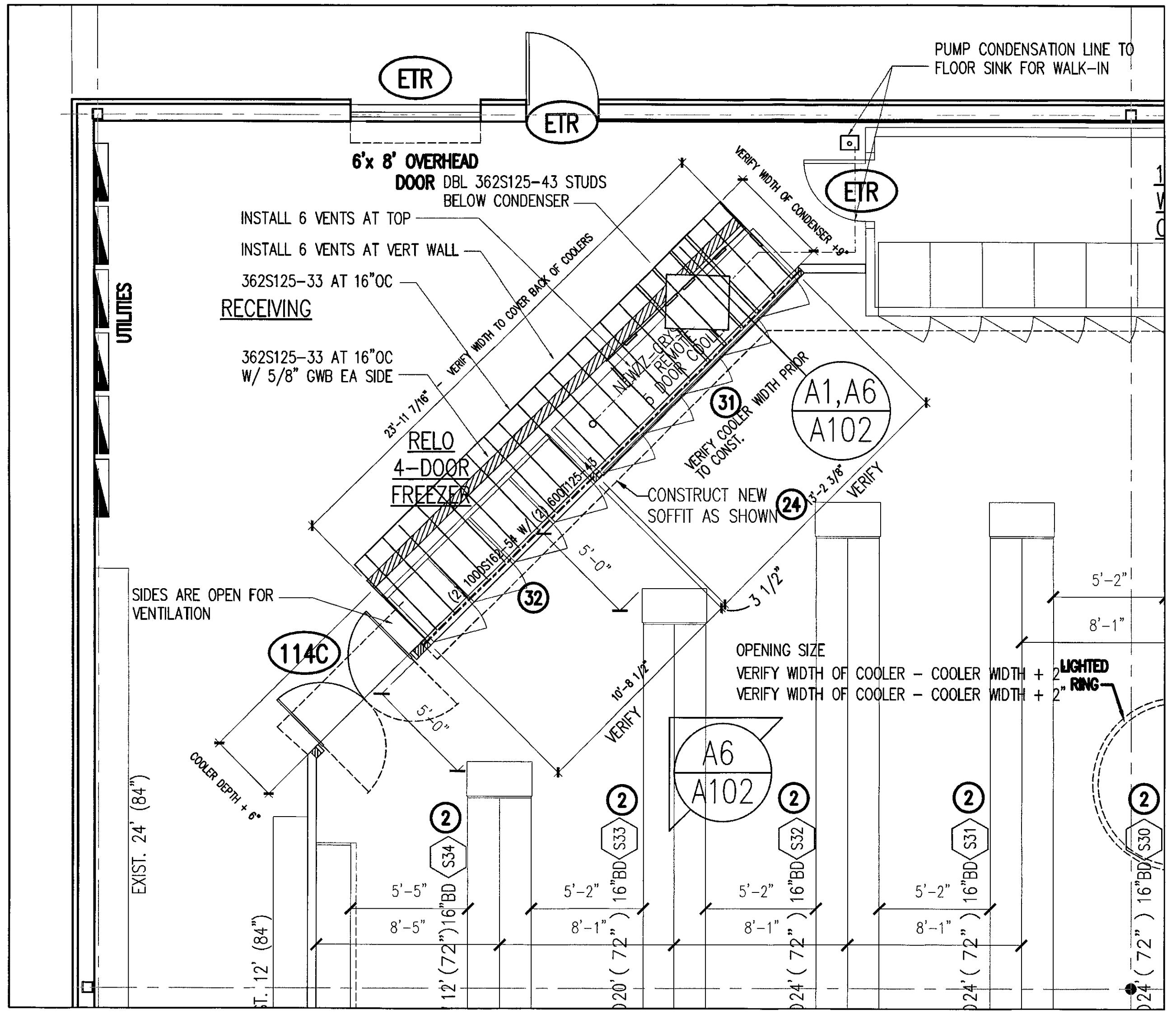
KEY PROCEDURE NOTES (FOR REFERENCE ONLY)  
1. KEY SET #1 IS FOR THE FRONT ENTRANCE DOORS THE BESAM DOORS COME WITH A CONSTRUCTION CORE AND KEYS. THE RITE AID OPERATIONS DISTRICT MANAGER WILL REMOVE THIS CORE AND REPLACE IT WITH ANOTHER CORE. THE FINAL KEYS FOR THE KEY SET ARE SUPPLIED BY RITE AID.  
2. KEY SET #2 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY THE CC.  
3. KEY SET #3 IS TO HAVE 8 COPIES. THESE ARE SUPPLIED BY THE CC.  
4. KEY SET #4 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY THE CC.  
5. KEY SET #5 IS SUPPLIED BY RITE AID.  
6. KEY SET #6 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY THE CC. THESE KEYS ARE FOR THE ACCESS PANELS IN THE UNDERSIDE OF THE DRIVE THRU CANOPY.  
7. KEY SET #7 IS TO HAVE 6 COPIES. THESE ARE SUPPLIED BY RITE AID THROUGH THE GATE SUPPLIER, OM.  
8. ALL OF THE LOCKSETS FOR THE KEY SETS WHICH ARE SUPPLIED BY THE CC ARE TO BE TURNED OVER TO RITE AID PER THE DIRECTION OF THE RITE AID CONSTRUCTION MANAGER.  
9. THE CC IS TO SUPPLY ONE BLANK KEY FOR EACH LOCKSET

BLD 2014-  
00396

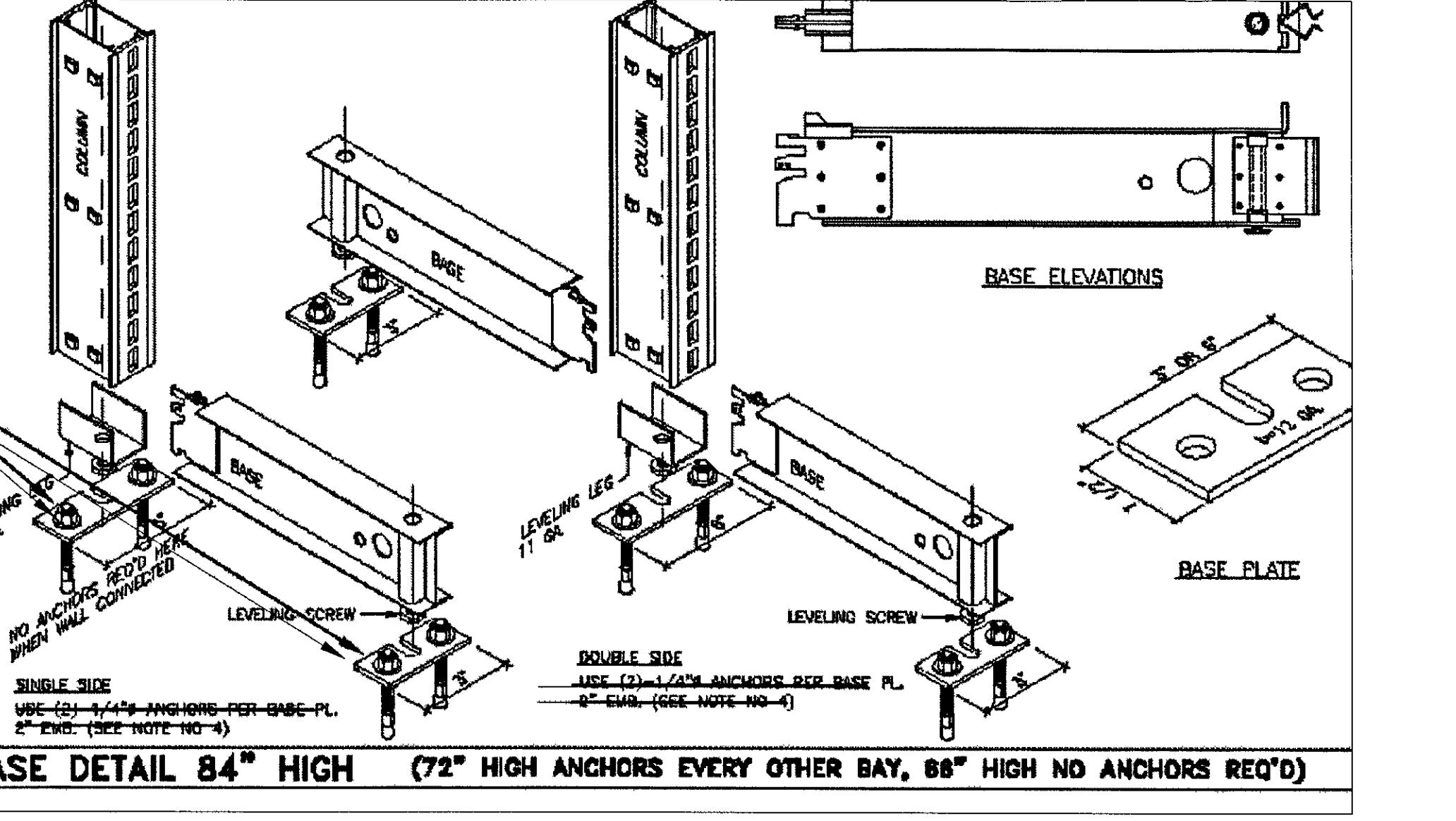
NOTE:  
ALL NEW LOCKS SHALL BE KEYED ALIKE TO MATCH EXISTING  
STORE  
REFER TO RCM SCOPE OF WORK FOR KEYING. PROVIDE 7 COPIES  
OF KEYS TO PHARMACY. FOLLOW STRICT DIRECTIONS FROM RCM  
SCOPE ONCE LOCKS ARE REKEYED AND ARRANGE FOR KEYS TO  
BE DELIVERED DIRECTLY FROM LOCKSMITH TO PHARMACIST  
MANAGER

109A	3'-0" X 7'-0"	HM	C	P-10	HM	1	J1	H1	P-8/P-10	-	3	110	KEY #4	PHARMACY DOOR WITH FLOOR STOP (CONSULTATION SIDE OF DOOR FRAME TO BE PAINTED P-10) PROVIDE 1/2" UNDERLAY AT DOOR FOR RETURN AIR
109B	3'-0" X 7'-0"	HO	F	PL-8	HM	1	J1	H1	P-10/P-10	-	3	SALES	KEY #4	CONSULTATION ACCESS DOOR (DOOR FRAME TO BE PAINTED P-10 ON CONSULTATION SIDE, P-10 ON WAITING ROOM SIDE)
114C	RELOC EX DOOR/FRAME	HM	B	MANUF	STL	1	G1	G1	P-9	-	NA	MANUF	NONE	ELIASON DOOR MODEL #PT1 PLUS - COLOR #10 GRAY - NO SCUFF PLATES REQUIRED SITE VERIFY EXACT SIZE OF ELIASON DOOR PRIOR TO ORDERING. EXISTING FRAME TO REMAIN, BOND EX FRAME & PROVIDE PT FIN, TYPE OF 2

K4 PARTITION HEAD AND SILL  
1 1/2" = 1'-0"

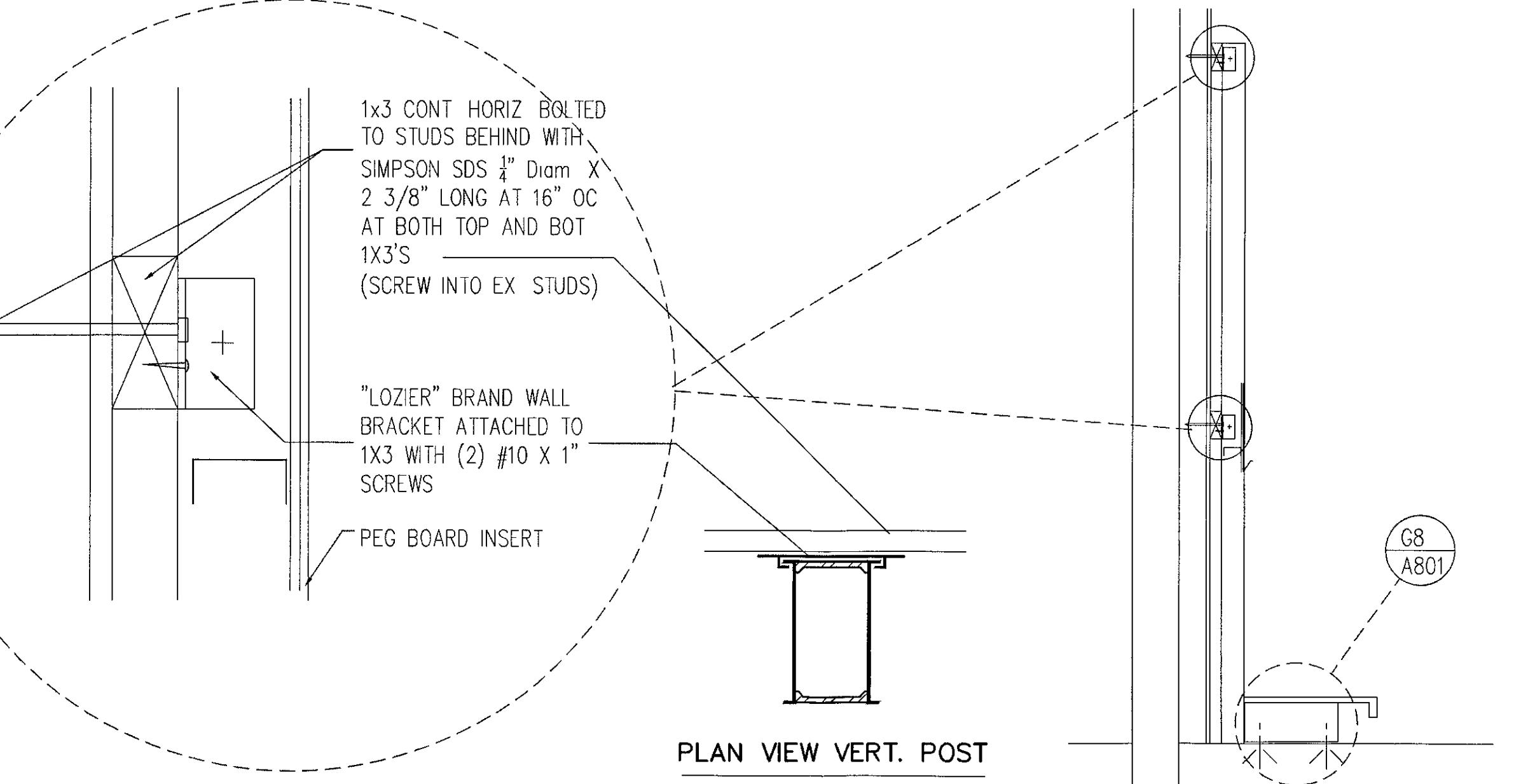


K7 DOOR SCHEDULE  
RE: A4/A-801; D4/A-801



G8 WALL STEEL AND GONDOLA BASE CONNECTION FOR UNITS > 69" HIGH  
3" = 1'-0"

AT RELOCATED OR NEW WALL STEEL THAT  
EXCEEDS 69" IN HEIGHT, CONTRACTOR SHALL  
UTILIZE THE FOLLOWING ATTACHMENT DETAIL  
TO SUPPORT THE WALL STEEL.

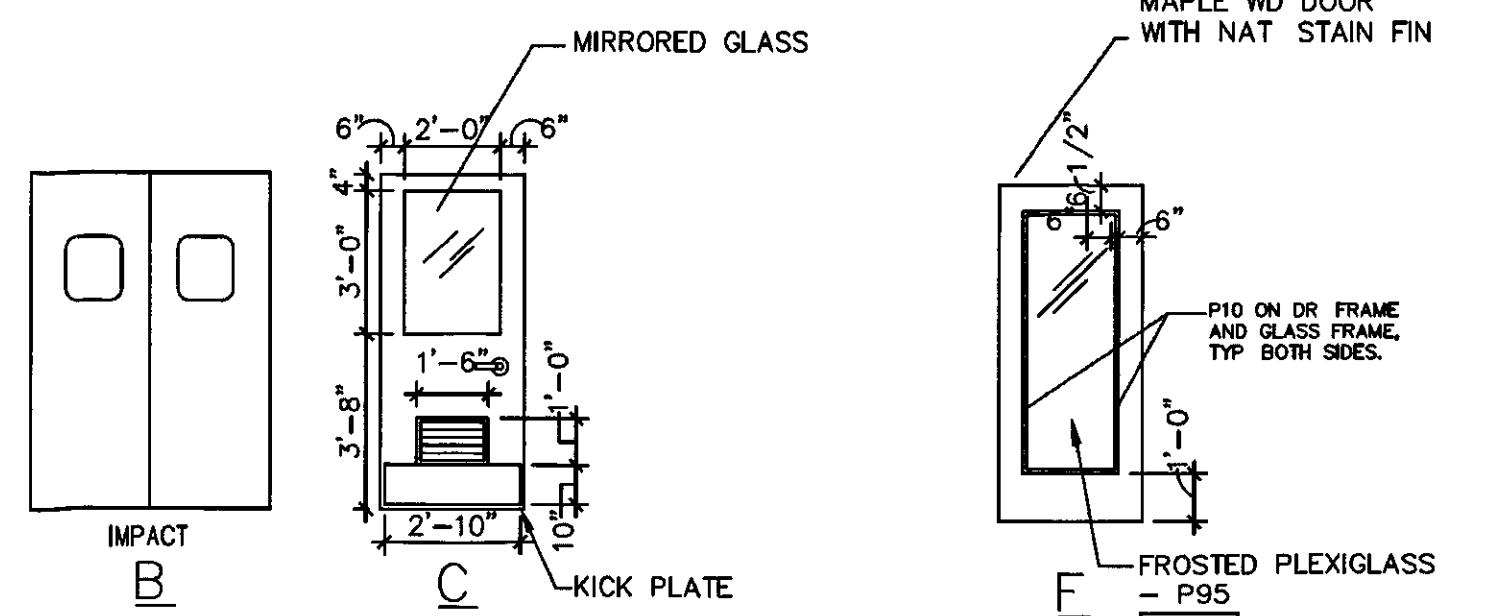


GENERAL NOTES

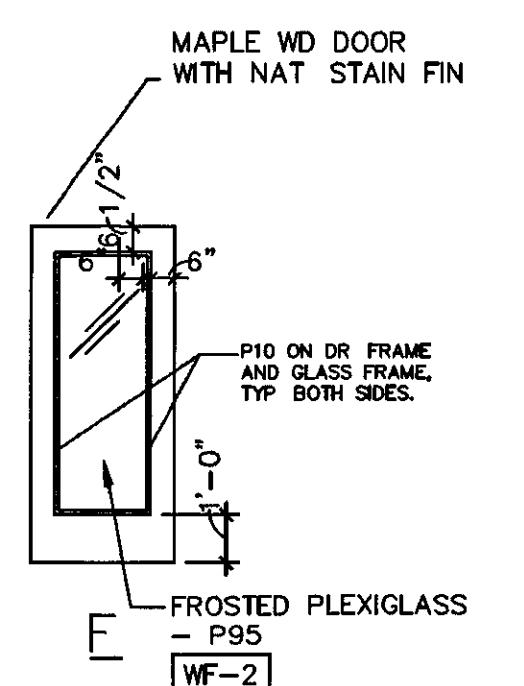
A NOT ALL DOOR TYPES ARE USED REFER TO SHEET A-101 FOR USED DOORS AND LOCATIONS  
B NOT ALL DOOR TYPES ARE USED REFER TO SHEET A-101 FOR USED DOORS AND LOCATIONS

LEGEND

D1 ENLARGED PLAN AT NEW BEAM ABOVE COOLER  
1/4" = 1'-0"



D8 WALL STEEL CONNECTION DETAIL FOR STEEL > 69" HIGH  
3" = 1'-0"



HARDWARE SET NUMBER 3 ( #109A, #109B) (LEVER HANDLE)  
1 FLOOR BUMPER 406 1/2 X PA 28 X HB-IVES  
1-1/2" PAIR BUTTS, 4-1/2 X 4-1/2 STANLEY FBB 191  
X 102 260 X 102  
1 DOOR CORBIN-RUSSWIN DC 6210X 689 X M54  
1 LOCK, CORBIN-RUSSWIN CL 3357 N2D X 626 X 2  
3/4" B/S (STOREROOM)  
1 LOCK/LATCH GUARD-IVS LG13 US32D  
1 KICK PLATE, 10"X34" SERIES 8400

A4 DOOR AND FRAME TYPES  
1/4" = 1'-0"  
NOTE: NOT ALL DOOR TYPES USED

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16