

Certificate of Occupancy

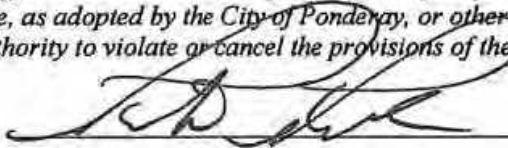
City of Ponderay

This certificate is to certify that October 02, 2019 the structure listed below is in compliance with the minimum requirements of the 2015 edition(s) of the International Building Code, and International Fire Code, as adopted by the City of Ponderay. This certificate further certifies that the portion or portions of the structure(s) listed below are approved to occupy, as prescribed within Section 111 of the International Building Code, 2015 edition.

Owner Name:	Lewis Patrick	Building Location:	823 Hawthorne Ave.
Leasee:	Diedrich Roasters		Ponderay, ID 83852
Mailing Address:	823 Hawthorne Ave.	Type of Construction:	V-B
	Ponderay, ID 83852		
Permit #:	7002-016-17	Occupancy Group:	F-1
Building Use:	Phase I Commercial Building	Occupancy Load:	80
		Sprinkler System Required & Provided:	Yes

By the issuance of a Certificate of Occupancy, the Building Official has inspected and found that no substantial hazard will result from the use or occupancy of this building, or portion thereof listed above. No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the Building Official has issued a Certificate of Occupancy. The issuance of a Certificate of Occupancy shall not be construed as an approval of a violation of the provisions of the building code, as adopted by the City of Ponderay, or other ordinances of the jurisdiction. State electrical, plumbing & HVAC inspections are not covered. Certificates presuming to give authority to violate or cancel the provisions of these codes or other ordinances of the jurisdiction shall not be valid.

Patrick A. Park
Building Official



Date 10/2/19

Mayor Steve Geiger
City of Ponderay



Date 10-3-19

3P17-016
RECEIVED

JUN 23 2017

PLANNING OFFICE
CITY OF PONDERAY

50 FT DEDICATED
PUBLIC RIGHT OF WAY
(ACCESS, WATER,
SEWER, DRAINAGE)

20 FT W X 110 LF
TEMP. TRANSITION TO
EXTG. GRAVEL ROAD

LOT 1
6.5 ACRES

EXISTING BUILDINGS

3 EA. EXISTING BUILDINGS
TO BE REMOVED

EXISTING
APPROACH



REMOVE
EXISTING
APPROACH

CONST. NEW
APPROACH
±65 FT. EAST

STATE HIGHWAY 200

GRAVEL FIRE
TRUCK ACCESS
10' UTILITY
EASEMENT

EXTG. SEWER

REMOVE EXISTING ACP
APPROACH
INSTALL 4" OF TOP SOIL
AND HYDROSEED

EXTG. GRAVEL ROAD

10 FT DRY
UTILITY EASEMENT
(GAS, ELEC, PHONE)

ROAD WIDTH 26'

3" FM
8" PW - PAVEMENT WIDTH

PAVED PARKING AND ACCESS

FIRE
HYDRANT

ENCLOSED
DUMPSTER

GRAVEL FIRE
TRUCK ACCESS

NEW BUILDING
16,000 SF
FFE 2123.5

CONVEYANCE SWALE

DEDICATED 30' PUBLIC RIGHT OF WAY

EXISTING
FIRE
HYDRANT

TAB TUCKER BROWN & VERMEER, LLC
ENGINEERING AND LAND SURVEYING
108 S. 2nd Ave., Sandpoint, ID 83864 (208)263-5884

LOT 1, PONDERAY PLACE
PHASE 1 INDUSTRIAL PARK
SITE PLAN
Ponderay, Idaho

REVISION

1	INCORPORATED CONDITIONS OF APPROVAL	BSB	4/20/17
2	NOTE TO REMOVE EXTG. APPROACH PER ITD	BSB	6/22/17

SCALE: 1" = 60'

6/22/2017

SHEET 1 OF 1

NO. DESCRIPTION BY DATE



LEGEND

-  EMERGENCY VEHICLE GRAVEL ACCESS
-  PROPOSED TREES
-  GRASS AREAS
-  EXISTING FIRE HYDRANTS

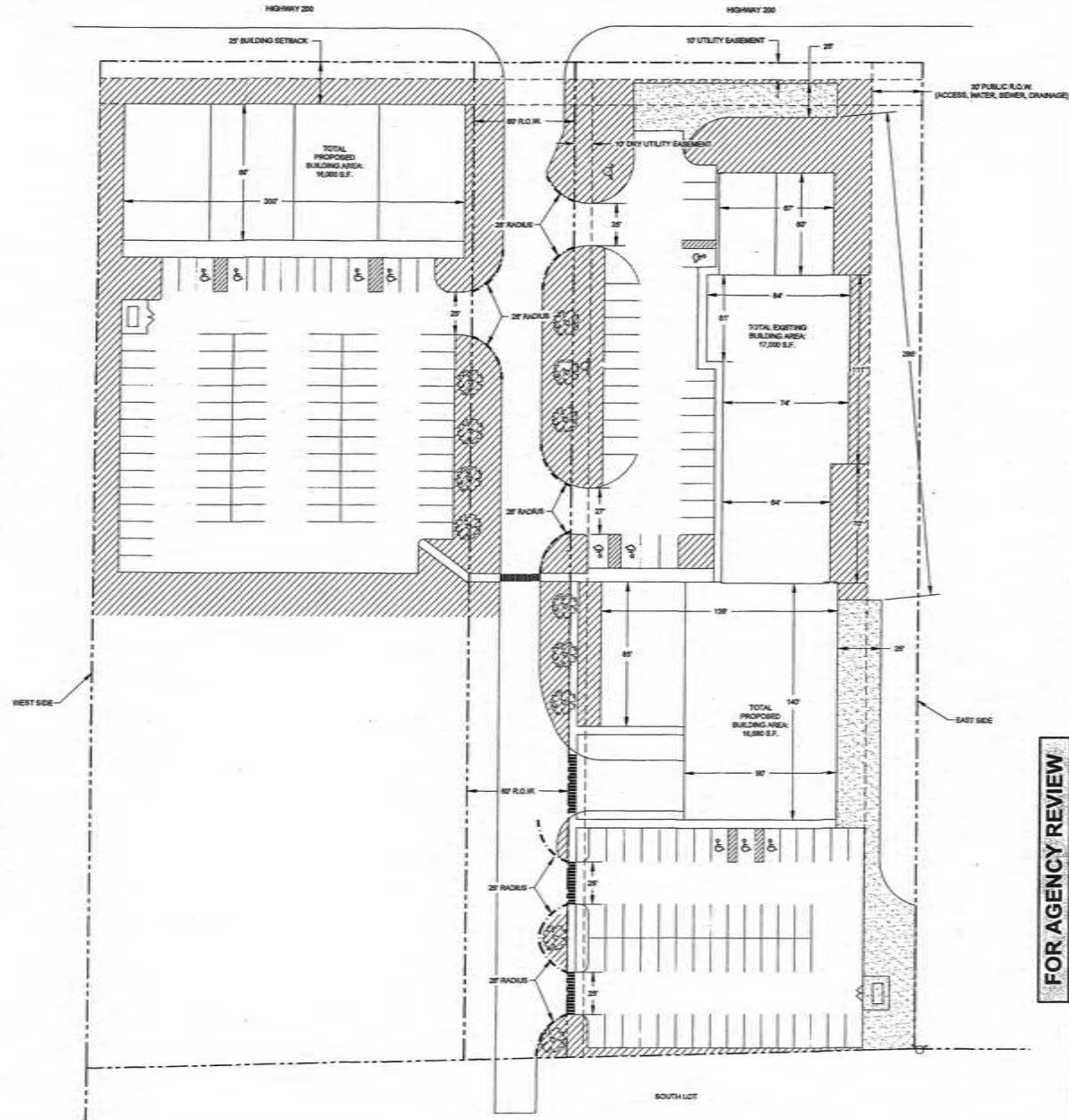
LOT	TOTAL LOT AREA	AREA TOTALS			
		BUILDING AREA	BIPOYOUS AREA	OPEN SPACE	
87 F.L.O.W.	0.8% ACRES 35,100 S.F.	0 S.F.	18,254 S.F.	15,849 S.F.	
WEST SIDE	2.96% ACRES 129,885 S.F.	16,500 S.F.	52,790 S.F.	76,695 S.F.	
EAST SIDE	2.7% ACRES 118,264 S.F.	33,880 S.F.	83,628 S.F.	34,538 S.F.	
SOUTH LOT	8.32% ACRES 356,880 S.F.	0 S.F.	781 S.F.	269,219 S.F.	
TOTALS	12.7% ACRES 591,132 S.F.	46,880 S.F.	150,723 S.F.	396,470 S.F.	

Ponderay City Planning
APPROVED SITE PLAN

4-11-18
DATE



4.1 LANDSCAPING & FIRE ACCESS
SCALE AS SHOWN



FOR AGENCY REVIEW



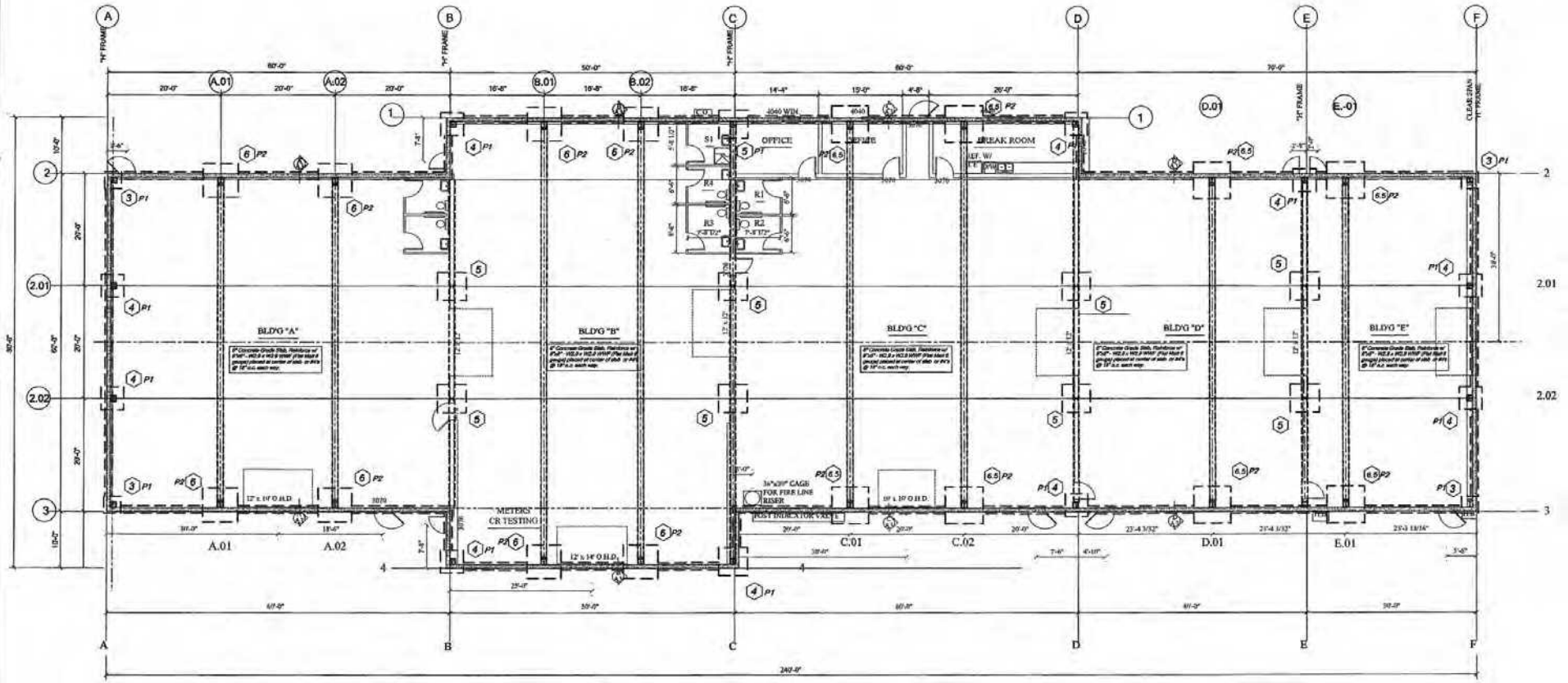
James A. Sewell and Associates, LLC
1315 NORTH DIVISION
SANDPOINT, IDAHO 83864
(208) 263-4160



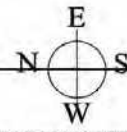
FOR AGENCY REVIEW
PROJECT: DIEDRICH STORMWATER & UTILITY
COLIN BURNETT/DAGON HOMES, LLC
BONNER COUNTY, IDAHO

DATE: 3-15-18
SCALE: AS SHOWN
DRAWN: TCB/AB
CHECKED: TCB
PROJECT: 00211-18-001
FILE: E-00211-18-001.dwg

C.1.1



FLOOR PLAN



SCALE: 1/8" = 1'-0"

Type	Reference	Size	Finishing	Comments
C16	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C17	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C18	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C19	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C20	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C21	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C22	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C23	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C24	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C25	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C26	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C27	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C28	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C29	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C30	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C31	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C32	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C33	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C34	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C35	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C36	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C37	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C38	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C39	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C40	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C41	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C42	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C43	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C44	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C45	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C46	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C47	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C48	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C49	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C50	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C51	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C52	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C53	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C54	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C55	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C56	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C57	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C58	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C59	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C60	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C61	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C62	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C63	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C64	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C65	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C66	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C67	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C68	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C69	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C70	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C71	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C72	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C73	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C74	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C75	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C76	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C77	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C78	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C79	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C80	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C81	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C82	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C83	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C84	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C85	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C86	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C87	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C88	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C89	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C90	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C91	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C92	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C93	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C94	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C95	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C96	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C97	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C98	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C99	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE
C100	12"	12" x 12"	FORM CONCRETE	FORM CONCRETE

BUILDING SPECIFICATION & LOAD INFORMATION

CLASSIFICATION

- TYPE IV
- at manufacturing
- at Office and Break Room
- Fully Sprinkled the suppression system

APPLICABLE LOADS

- Current Building Code (2012)
- Wind 50 mph
- Ground Snow Load 50 psf
- Flat Roof Snow Load 70 + 55 psf
- Occupancy Cat 3 Normal
- Thermal Condition Normal
- Seismic Category C
- Designated steel exposure partially exposed
- Collateral Loads 5 psf

METAL BUILDING SPECIFICATIONS

- TYPE P101 and Design / Color Steel Panels as noted
- Gal at 40" x 40"
- 20 Gauge Galts its siding color w/ color break at 40" (see face Reference)
- 24 Gauge Double-Lock Galvalume (standing seam roof on movable clips)
- Outer and downspouts support brackets no greater than 30" where noted
- Overhangs as noted (30")
- Floor Insulation, Vapor Barrier under panels w/ 12" Seal and Girts fastened to underside of joists
- Wall Insulation, 6" Sag and Bag with tear resistant torn covering

UNDER SLAB PREPARATION

- Completed rebar sub 2018
- 10" compacted engineered fill over 1" tear fabric
- 10 ml vapor barrier taped at seams and penetrations
- 2-3" of sand compacted

CONCRETE REINFORCEMENT

- Footings and slabs refer to S2 plans
- Slabs 18" O.C. E.W.
- Cold joints Burke Cold Joint or similar repressed dowels

CONCRETE

- 50K sack concrete at footings and slab
- Form finish as noted
- Slabs to be cold painted and saw cut (1.5") where noted
- Ready on existing compound
- Slabs may be poured after building shell is completed

PATRICK PROPERTIES

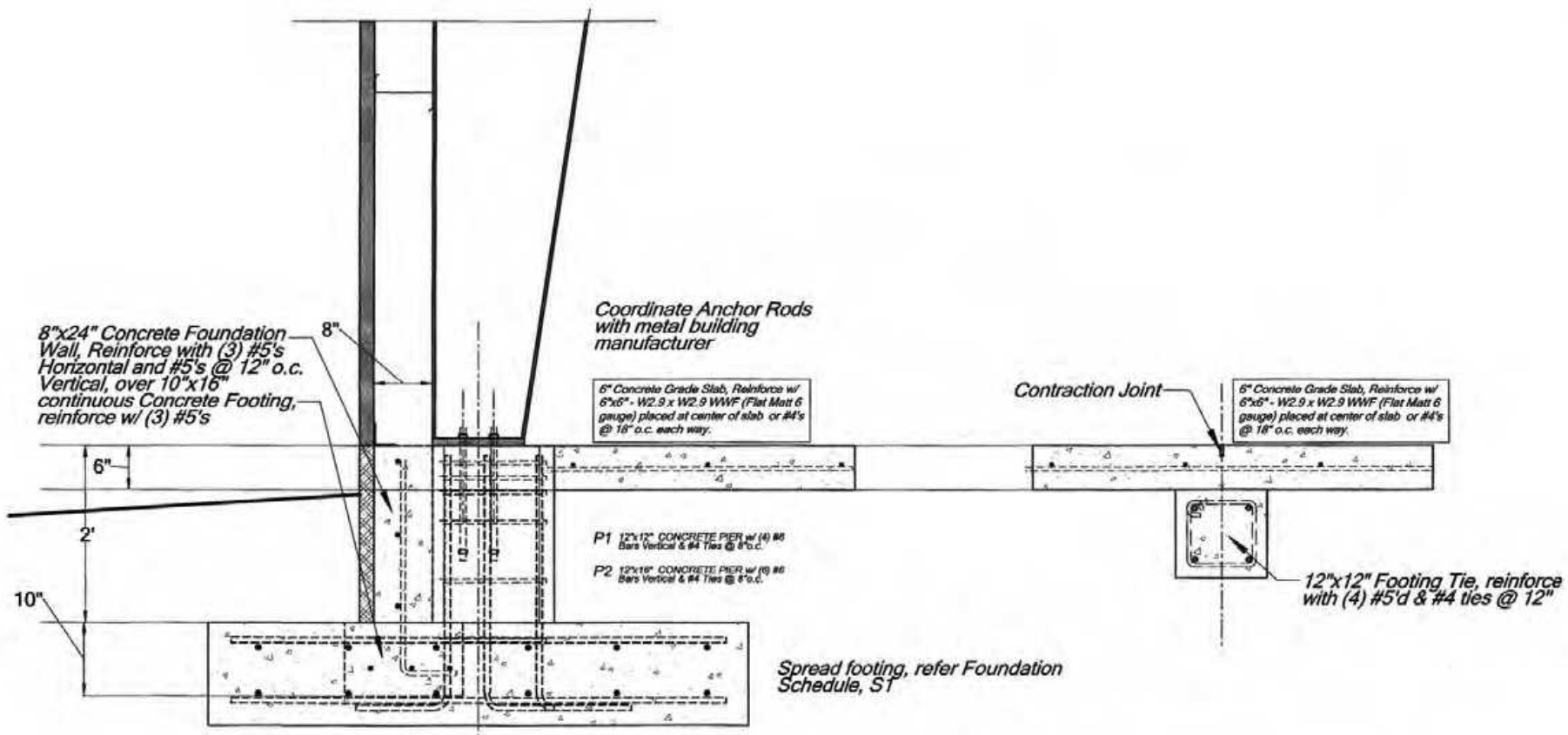
"LOT 1"

DG Thompson Engineer / Architect

Address: P.O. Box 1007, Bangor, Maine, 04401
Phone: (202) 510-9071, email: dgthompson@earthlink.net



DATE: MAR. 8, 2017
 DRAWN: DGT
 I.E.: 2017
 STATE: IDMA42
 FOUNDATION / SLAB PLAN
 SHEET: S1



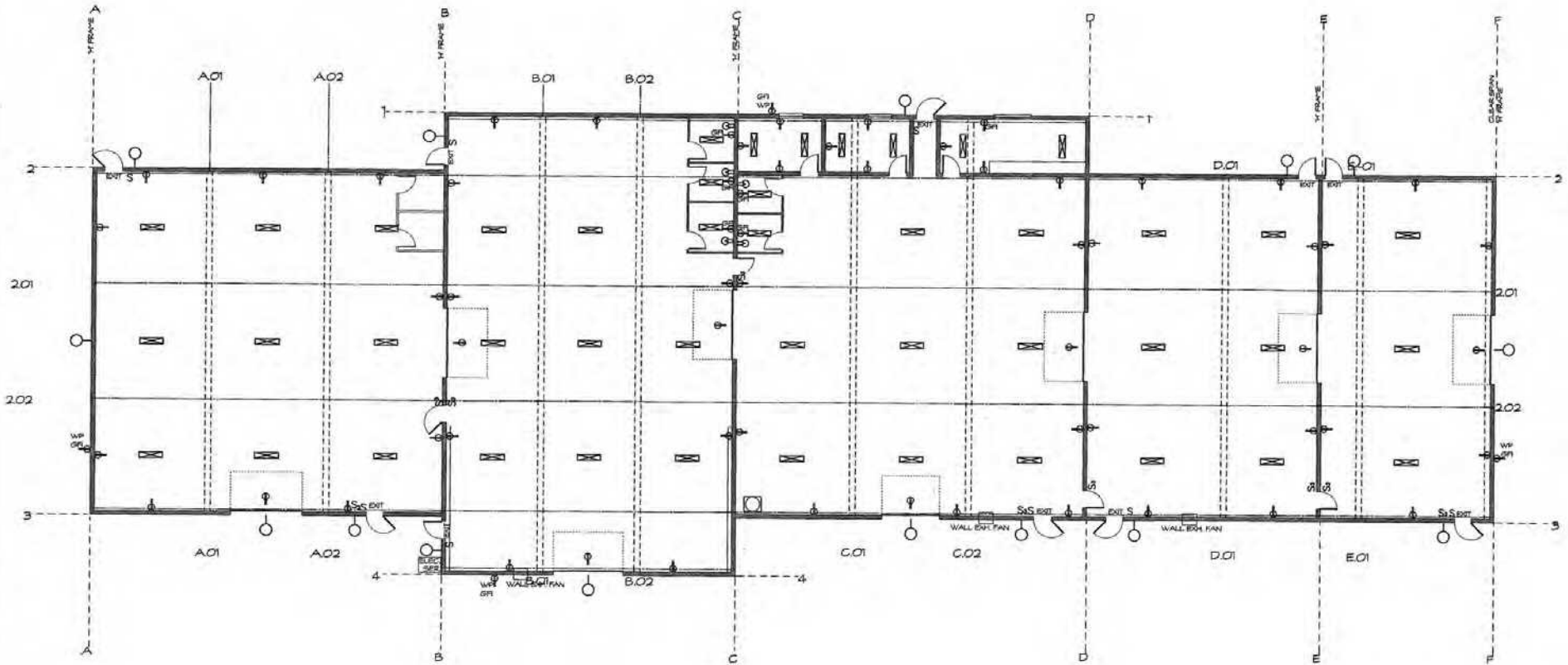
TYPICAL PIER & FOUNDATION WALL

TYPICAL FOOTING TIE

1 1/2" = 1'-0"



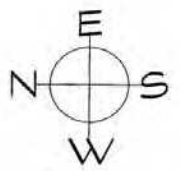
PATRICK PROPERTIES "LOT 1"	DG <small>Engineer / Architect</small> Thompson <small>Address: 1101 Elm Street, Sandpoint, Idaho, 83864 Phone: (208) 610-8077, email: dg@dgthompson.com</small>	DATE: MAR. 9, 2017
		DRAWN: DGT
		FILE: 2017
		STATE: IDAHO
		FOUNDATION / SLAB PLAN
1-REV	S2	



ELECTRIC PLAN

SCALE: 1/8" = 1'-0"

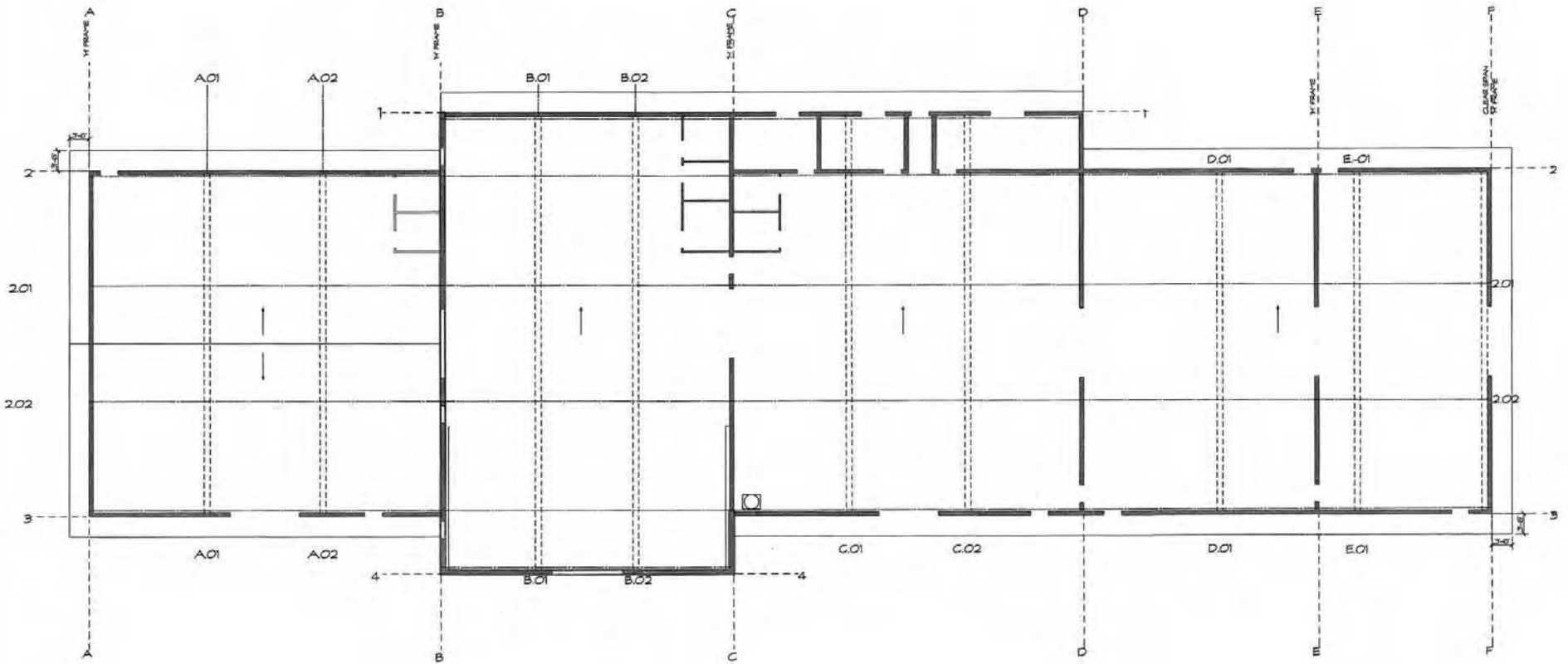
- | | | |
|--|----|---|
| | 48 | 36WTS 4 BULB HIGH BAY FLUORESCENTS SIZE 4'x8'00" |
| | 5 | OVER DOOR EXTERIOR LIGHT FIXTURES ON TIE |
| | 10 | EXIT SIGNS W/ BATTERY BACKUP AND EMERGENCY LIGHTING |
| | 10 | 3-WAY SWITCHES |
| | 10 | EXIT SIGNS W/ BATTERY BACKUP AND EMERGENCY LIGHTING |
| | 5 | INTERIOR RESTROOM FIXTURES OVER SINKS |



**PATRICK
PROPERTIES**
"LOT 1"

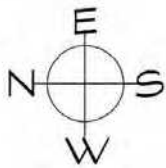
**AIRMAIL
DRAFTING
SERVICES**

<small> PLO INCH 1/8" (1/8") STANDPOINTS: 10 ALUMINA (CONV 2400-TYPICAL) ALL CONSTRUCTION TO MEET PERMITS STANDARDS OF CURRENT I.E.C. & LOCAL BUILDING CODES. DESIGNER & CONTRACTOR TO BE VERIFIED AS TO INSTALLATION. ALL CONTRACTS SHOULD BE BROUGHT TO OWNER'S ATTENTION PRIOR TO CONSTRUCTION. </small>	<small> DATE: MAR 3, 2017 DRAWN BY: JEL REV: 3/27 STATUS: DRAFT PROJECT: ELECTRICAL SHEET: E1 </small>
---	---



ROOF PLAN

SCALE: 1/8" = 1'-0"

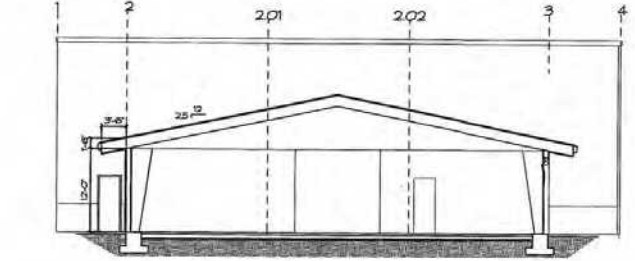


**PATRICK
PROPERTIES**
"LOT 1"

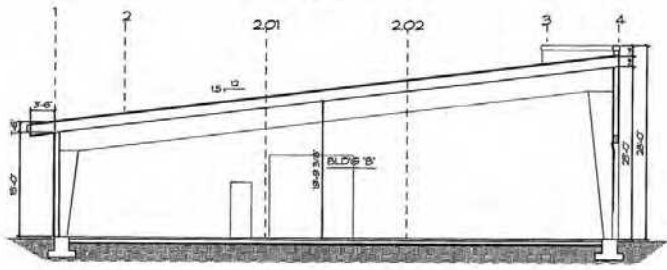
**AIRMAIL
DRAFTING
SERVICES**

FOR BOX 507
BANDONVILLE OH 45304
(614) 280-7904
ALL CONSTRUCTION TO
MEET MINIMUM STANDARDS
OF CURRENT ULC &
LOCAL BUILDING CODES.
DIMENSIONS & CONNECTIONS
TO BE VERIFIED PRIOR TO
INSTALLATION. ALL CONTRACTS
SHOULD BE BROUGHT TO
OWNER OR DESIGNER
ATTENTION PRIOR TO
CONSTRUCTION.

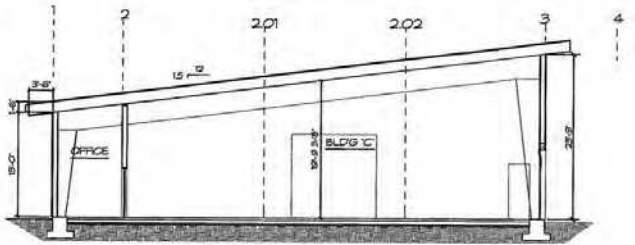
DATE: MAR 3, 2017
DRAWN: JRL
FILE: 2017
STATE: OHIO
PROJECT: ROOF PLAN
SHEET: A4



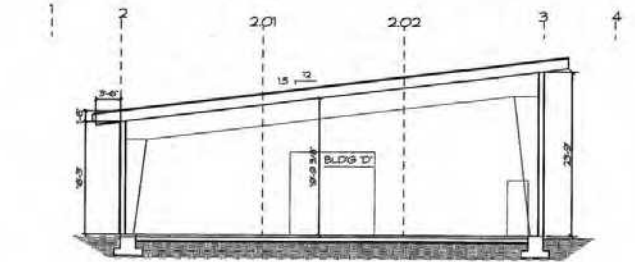
SECTION A
SCALE 1/8" = 1'-0"



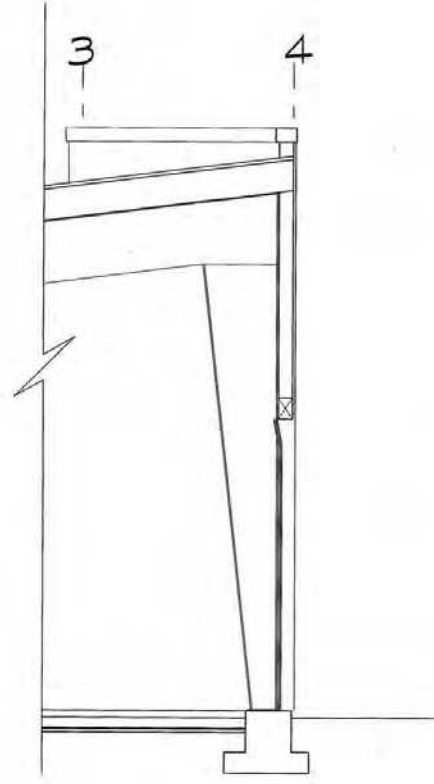
SECTION B
SCALE 1/8" = 1'-0"



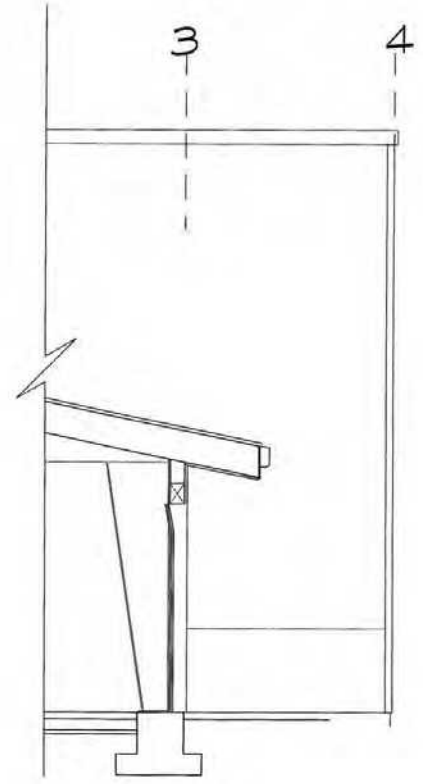
SECTION C
SCALE 1/8" = 1'-0"



SECTION D
SCALE 1/8" = 1'-0"

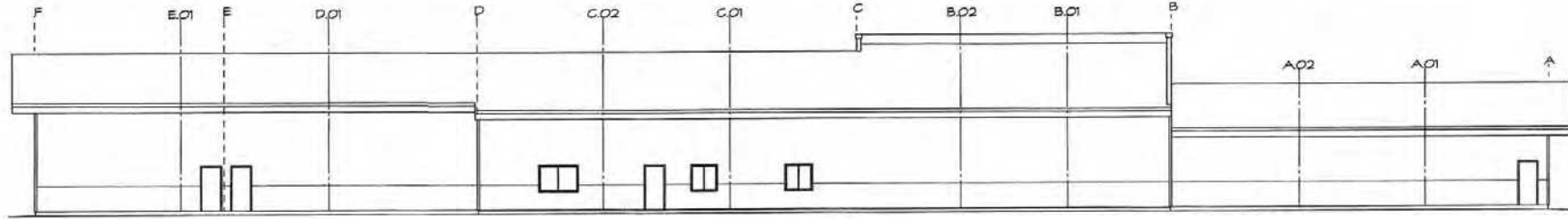


WALL SECTION B

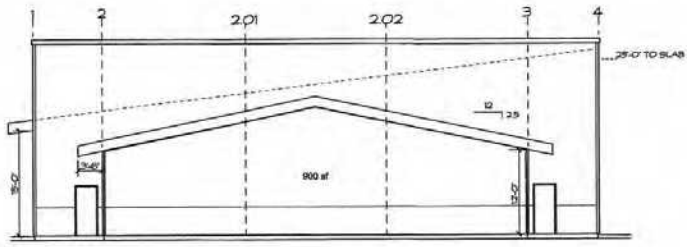


WALL SECTION A

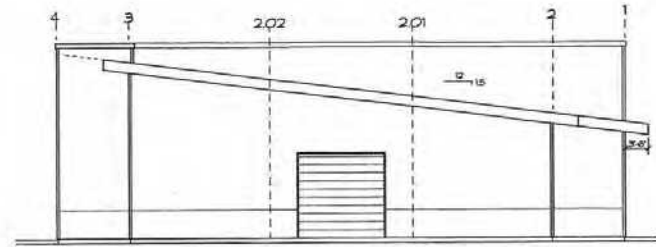
<p>PATRICK PROPERTIES</p> <p>"LOT 1"</p>	<p>AIRMAIL DRAFTING SERVICES</p>	<p>FIG. SIX (507) HANDPOINT: 10-28-84-4 COURT: 2807-700-0000</p>	<p>DATE: MAR. 3, 2017</p>
		<p>ALL CONSTRUCTION TO MEET MINIMUM STANDARDS OF CURRENT IBC & LOCAL BUILDING CODES. DESIGNER & CONTRACTOR TO BE VERIFIED PRIOR TO INSTALLATION. ALL CONFLICTS SHOULD BE BROUGHT TO OWNER'S OR DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.</p>	<p>DRAWN: JKL</p>
		<p>NO. 2017</p>	<p>STATE: IDAHO</p>
		<p>REVISION:</p>	<p style="text-align: center; font-size: 2em;">A3</p>



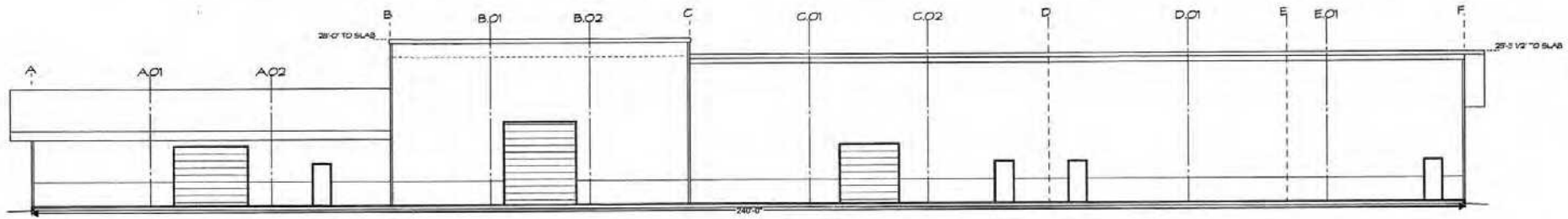
EAST ELEVATION



NORTH ELEVATION



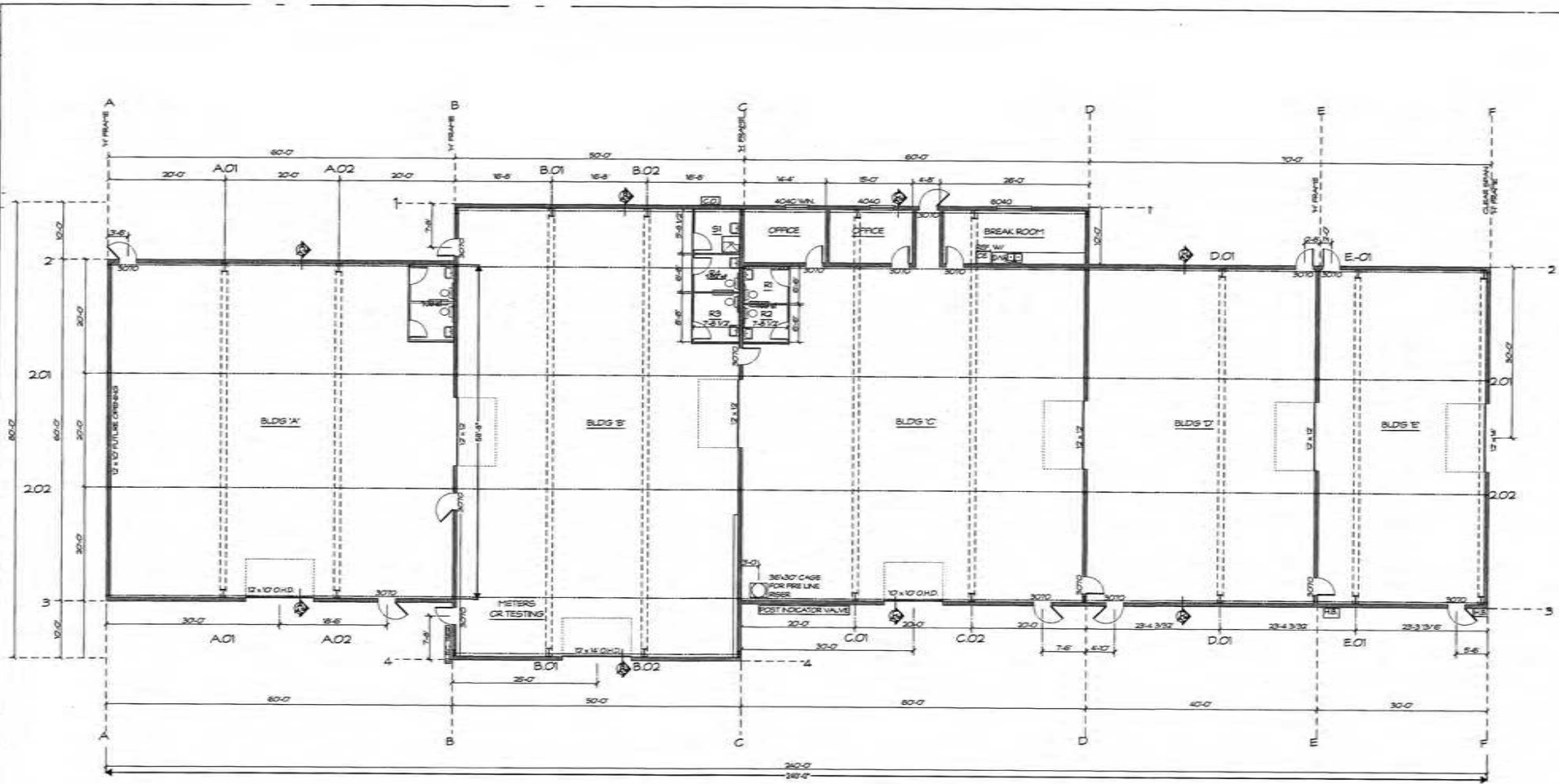
SOUTH ELEVATION



WEST ELEVATION

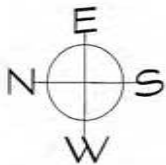
SCALE: 1/8" = 1'-0"

<p>PATRICK PROPERTIES</p> <p>"LOT 1"</p>	<p>AIRMAIL DRAFTING SERVICES</p>	<p>PROJ: 2017-1007 STANDARD: 10 2006-4 (C) 2006-1904</p>	<p>DATE: 11/16/2017 DRAWN: JL FILE: 2017 BY: JL ELEVATIONS</p>
		<p>ALL CONSTRUCTION TO MEET PRESENT STANDARDS OF CURRENT I.A.C. & LOCAL BUILDING CODES. DIMENSIONS & CONNECTIONS TO BE VERIFIED PRIOR TO INSTALLATION. ALL CONTRACTORS SHOULD BE BROUGHT TO OWNER'S ATTENTION PRIOR TO CONSTRUCTION.</p>	
		<p>SHEET</p>	
		<p>A2</p>	



FLOOR PLAN

SCALE: 1/8" = 1'-0"



**BUILDING SPECIFICATION
& LOAD INFORMATION**

CLASSIFICATION

- Type I/B
- I2 or manufacturing
- B or Office and Break Room
- Fully finished the exterior system

APPLICABLE LOADS

- Current Building Code (CBC)
- Wind 90 mph
- Ground Snow Load (GS) 20 psf
- Roof Snow Load by design 19 psf
- Occupancy Cat I Normal
- Thermal Condition heated
- Seismic category C
- Designed snow exposure fully exposed
- Calibrated Loads 5 psf

METAL BUILDING SPECIFICATIONS

- Type Panel and Beam / Clear Span frame as noted
- G16 or 45' APF
- 26 Gauge Delta ribsiding color w/ color break or 45' (surface finished)
- 24 Gauge Double Lock (ribeline) (standing seam roof or reversible steel)
- Owner and downspouts support brackets to greater than 30' where noted
- Overhangs as noted (DET)
- Roof insulation, Vapor barrier under purlin w/ 1/2" foam and Storm fasteners to underside of purlin
- Wall insulation, 6" Styro and Bag with tear resistant exterior covering

UNDER SLAB PREPARATION

- Connected normal sub grade
- 10' compacted engineered fill over Taper fabric
- 10 ml vapor barrier taped at seams and penetrations
- 2-3" of sand compacted

CONCRETE REINFORCEMENT

- Footings and base walls to 5/2 bars
- Slabs 4# W' O.C.E.V.
- Cold joints Burke Cold Joint or similar w/greased dowels

CONCRETE

- Six sack concrete or footings and slabs
- Four sack or slabs
- Slabs to be cold jointed and saw cut (.5') where noted
- Spray on curing compound
- Slabs may be formed after building shell is completed

<p>PATRICK PROPERTIES</p> <p>"LOT 1"</p>	<p>AIRMAIL DRAFTING SERVICES</p>	<p>PO BOX 3307 BANDON, VT 05564 (802) 240-1904</p> <p>ALL CONSTRUCTION TO BEST PRACTICES STANDARDS OF CURRENT AIA & LOCAL BUILDING CODES DIMENSIONS & CONNECTIONS TO BE VERIFIED FROM TO OWNER OR DESIGNERS ATTENTION PRIOR TO CONSTRUCTION</p>	<p>DATE: MAR. 3, 2017</p> <p>DRAWN BY: JL</p> <p>FILE: 2017</p> <p>PROJECT: DWG</p> <p>FLOOR PLAN</p> <p style="font-size: 2em; font-weight: bold;">A1</p>

Certificate of Occupancy

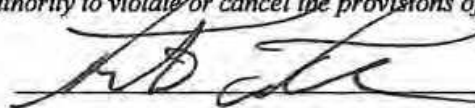
City of Ponderay

This certificate is to certify that October 02, 2019 the structure listed below is in compliance with the minimum requirements of the 2015 edition(s) of the International Building Code, and International Fire Code, as adopted by the City of Ponderay. This certificate further certifies that the portion or portions of the structure(s) listed below are approved to occupy, as prescribed within Section 111 of the International Building Code, 2015 edition.

<i>Owner Name:</i>	Lewis Patrick	<i>Building Location:</i>	823 Hawthorne Ave.
<i>Leasee:</i>	Diedrich Roasters		Ponderay, ID 83852
<i>Mailing Address:</i>	823 Hawthorne Ave.	<i>Type of Construction:</i>	V-B
	Ponderay, ID 83852	<i>Occupancy Group:</i>	B/F-1
<i>Permit #:</i>	6002-020-18	<i>Occupancy Load:</i>	35
<i>Building Use:</i>	Phase II Commercial Building	<i>Sprinkler System Required & Provided:</i>	Yes

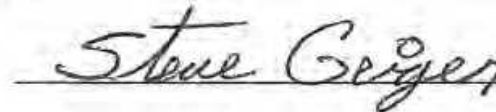
By the issuance of a Certificate of Occupancy, the Building Official has inspected and found that no substantial hazard will result from the use or occupancy of this building, or portion thereof listed above. No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the Building Official has issued a Certificate of Occupancy. The issuance of a Certificate of Occupancy shall not be construed as an approval of a violation of the provisions of the building code, as adopted by the City of Ponderay, or other ordinances of the jurisdiction. State electrical, plumbing & HVAC inspections are not covered. Certificates presuming to give authority to violate or cancel the provisions of these codes or other ordinances of the jurisdiction shall not be valid.

Patrick A. Park
Building Official



Date 10/2/19

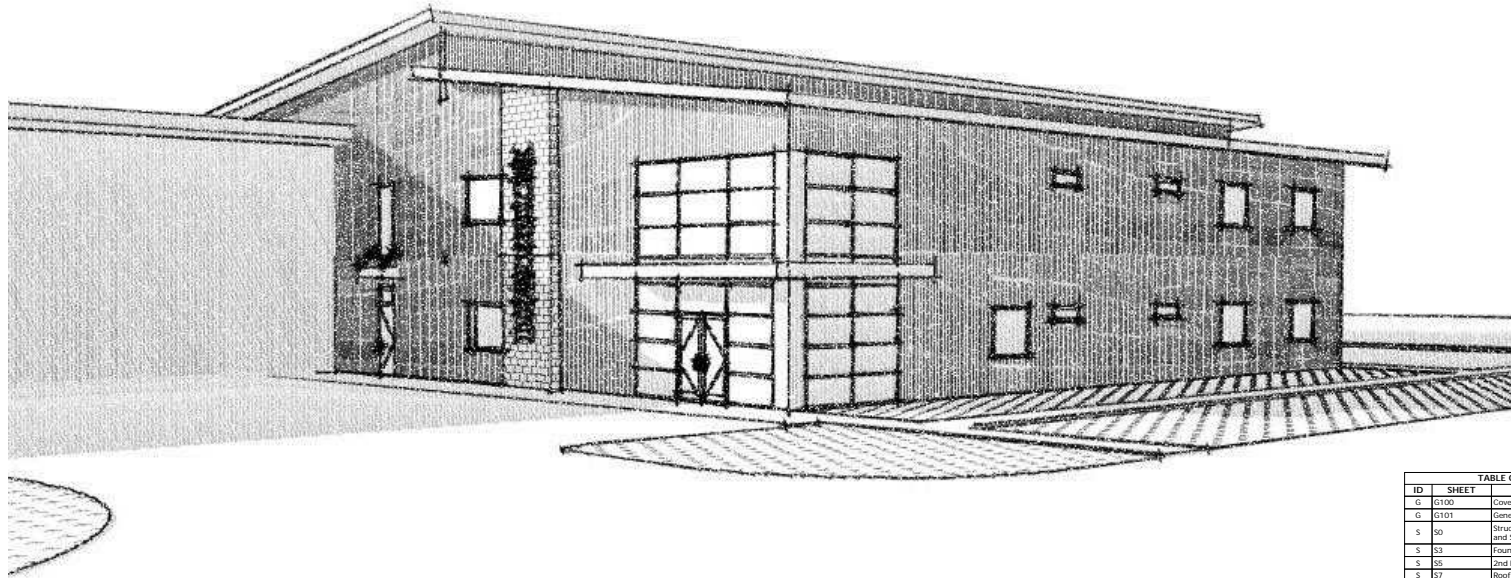
Mayor Steve Geiger
City of Ponderay



Date 10-3-19

DIEDRICH MANUFACTURING PHASE 2

823 HAWTHORNE PL. PONDERAY, IDAHO



ABBREVIATIONS

- A AND
- AL AL
- A.S.F. ABOVE SUB-FLOOR
- ASL ANCHOR BOLT
- AB ADJACENT
- ALT ALTERNATE
- APPROX APPROXIMATELY
- BLOC BLOCKING
- BOT BOTTOM
- CA CURB ACCESS
- CL CENTER LINE
- CLR CLEAR
- COL COLUMN
- CONC CONCRETE
- D DBL DOUBLE
- DIAM DIAMETER
- DS DOWN SPOUT
- EA EACH
- E1 EXPANSION JOINT
- EW EACH WAY
- EXP EXPANSION
- FIN FINISH
- FT FOOT/FEET
- FTG FOOTING
- FL FINISH FLOOR LEVEL
- GA GAUGE
- GL GLUE LAMINATED
- GWB GYPSUM WALL BOARD
- HP HYP
- H HEIGHT
- HORZ HORIZONTAL
- I.C.F. INSULATED CONCRETE FORM
- INSUL INSULATION
- INT INTERIOR
- JT JOINT
- IN INCHES
- L.L. LAMINATED STRAND LUMBER
- LVL LAMINATED VENEER LUMBER
- MAX MAXIMUM
- MIN MINIMUM
- NOT IN CONTRACT NOT TO SCALE
- NTS NUMBER
- O.C. ON CENTER
- O.F. OUTSIDE FACE
- OPN G OPENING
- OPP OPPOSITE
- OPT OPTIONAL
- PARALLEL PARALLEL
- PERP PERPENDICULAR
- PL PLATE
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PSL PLYWOOD STRAND LUMBER
- P.T. PRESSURE TREATED
- REF REFLECTED CEILING PLAN
- REBAR REINFORCING STEEL
- REINFORCING REINFORCING
- REQD REQUIRED
- S.B. SANITARY SEWER
- SHT G SHEATHING
- SM SPECIFICATIONS
- SQ FT SQUARE FOOT/FEET
- STRUCT STRUCTURAL
- STL STEEL
- SUB FLR SUB FLOOR
- T&B TOP AND BOTTOM
- T&G TONGUE AND GROOVE
- THRU THROUGH
- T.O. TOP OF WINDOW
- T.O.W. TOP OF WINDOW
- TRANSV TRANSVERSE
- T.S. TUBE STEEL
- TOP TOP OF FINISH FLOOR
- TOS TOP OF SLAB
- TYP TYPICAL
- VERT VERTICAL
- W/ WITH
- W/O WITHOUT
- W.W. WELDED WIRE MESH
- W.W.F. WELDED WIRE FABRIC
- W.D.W. WINDOW
- W.H. WEIGHT
- W.W. WELDED WIRE FABRIC
- UNLESS NOTED OTHERWISE UNLESS NOTED OTHERWISE

ROOM NAME	UNIT SQUARE FOOTAGE		NOTES
	FLOOR LEVEL	SQUARE FOOTAGE	
EXISTING MANF FACILITY	First Level	16,000.00	
MANUFACTURING - F-1 OCCUPANCY	First Level	12,543.33	
OFFICES / RECEPTION - B OCCUPANCY	First Level	4,126.67	
SECOND LEVEL - BUSINESS	Second Level	2,567.33	
SECOND LEVEL - FACTORY F-1	Second Level	419.02	
		36,666.35 sq ft	

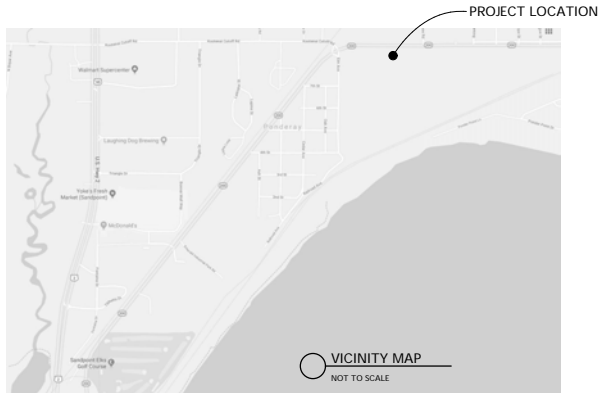


TABLE OF CONTENTS

ID	SHEET	TITLE
G	G100	Cover Sheet
G	G101	General Notes
S	S0	Structural Cover Sheet, Specifications, and Sheet Index
S	S3	Foundation Plan
S	S5	2nd Floor Framing Plan
S	S7	Roof Framing Plan
S	S13	Foundation Details
S	S16	Steel Connection Details
S	S20	Connections & Framing Details
A1	A101	First Level Floor Plan
A1	A102	Second Level Floor Plan
A1	A103	Roof Plan
A1	A104	Life Safety & Egress Plans
A2	A200	Exterior Elevations
A2	A201	Exterior Elevations
A3	A300	Building Sections
A3	A301	Building Sections
A3	A302	Building Sections
A4	A400	ADA Restrooms & Details
A4	A401	Interior Elevations, Enlarged Plans, ADA Details
A5	A500	Building Details
A6	A600	Door & Window Schedules, Storefront Elevations
A6	A601	Window Schedules
E	E101	First Level Electrical
E	E102	Second Level Electrical
E	E103	Electrical Schedules & Notes

PROJECT INFORMATION
ADDRESS: 823 HAWTHORNE PLACE
LOCATION: PONDERAY, IDAHO

DESIGN CRITERIA
BUILDING CODE REQUIRED: 2015 INTERNATIONAL BUILDING CODE (IBC) 2012 UNIFORM PLUMBING CODE (UPC) 2009 IDAHO STATE PLUMBING CODE (ISPC) 2012 INTERNATIONAL MECHANICAL CODE (IMC) 2012 NATIONAL ELECTRICAL CODE (NEC) ENERGY CONSERVATION CODE: 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) GAS CODE: 2012 INTERNATIONAL FIRE GAS CODE (IFGC)

Mechanical Code: 2012 INTERNATIONAL MECHANICAL CODE (IMC)
Electrical Code: 2012 NATIONAL ELECTRICAL CODE (NEC)
Fire Code: 2012 INTERNATIONAL FIRE CODE (IFC)
Gas Code: 2012 INTERNATIONAL FIRE GAS CODE (IFGC)

FIRE SPRINKLER PROTECTION SYSTEM REQUIRED: YES
FIRE SPRINKLER DESIGN - TO BE DESIGN/FUL BY CONTRACTOR: YES

STRUCTURAL ENGINEERING REQUIRED: YES
FROST DEPTH: 24" MIN. YES
ICE SHIELD REQUIRED: YES
ELEVATION: 2083.45' MAIN LEVEL
HEIGHT RESTRICTION: PER CODE, 3 STORES YES

ALL WORK SHALL COMPLY WITH THE MOST CURRENT REQUIREMENTS OF ALL LOCAL, COUNTY STATE AND NATIONAL CODES, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL VERIFY ALL APPLICABLE CODES AND METHODS OF CONSTRUCTION PRIOR TO COMMENCING WORK.

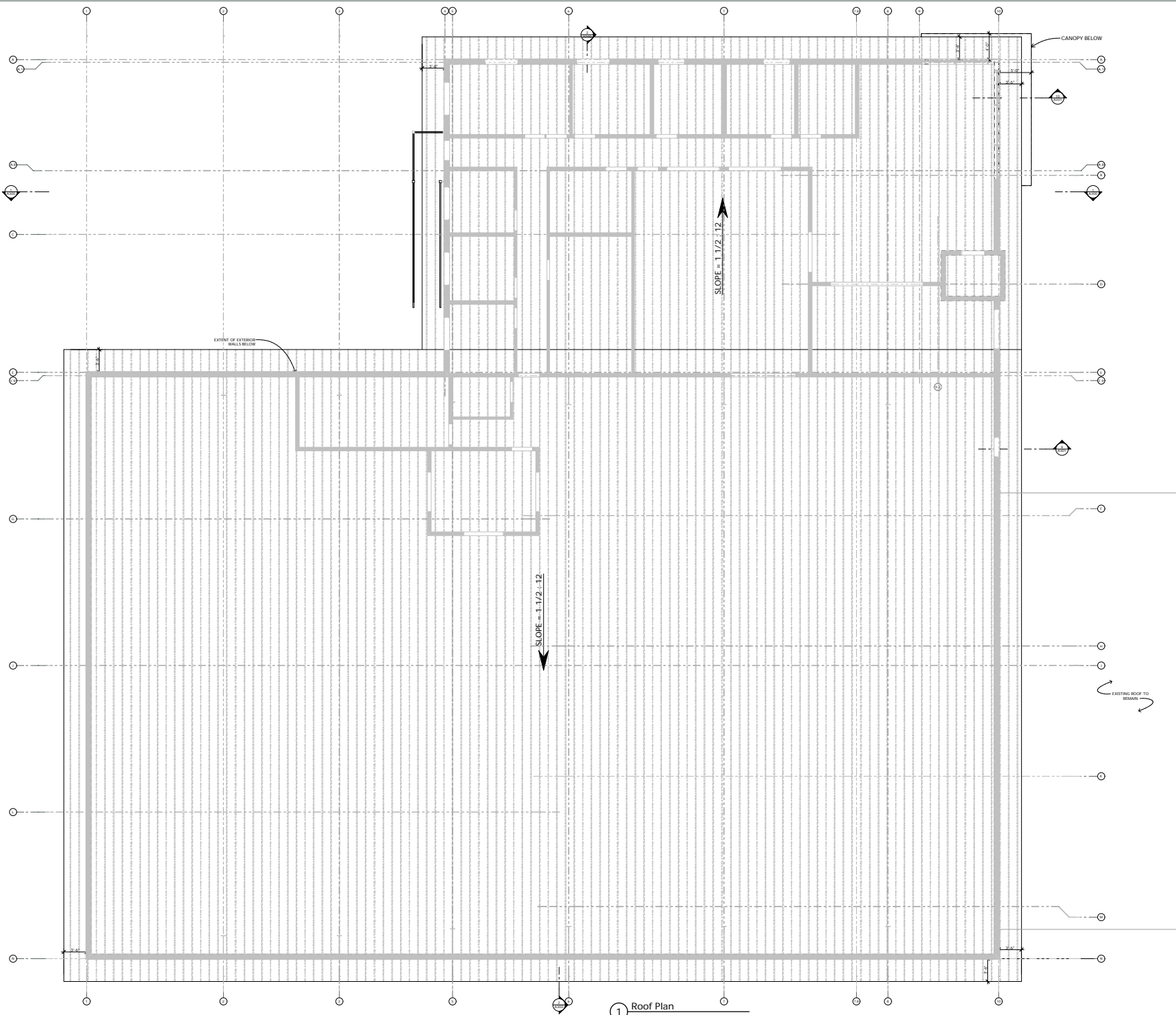
CODE ANALYSIS

PROJECT:	DIEDRICH PHASE 2	MAXIMUM ALLOWABLE AREA:	3 STORES X 46,500 SF / STORY = 135,000 SF
LOCATION:	PONDERAY, IDAHO	EXISTING FACILITY:	16,000 SF
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE	PROPOSED BUILDING HEIGHT AND AREA:	2 STORES BUILDING HEIGHT - 35'-3" +/- BUILDING AREA - 20,666 SF (12,962 FACTORY F1, 7704 BUSINESS)
OCCUPANCY TYPE:	B, F-1	OCCUPANT LOADS:	F-1 200SF / OCCUPANT 12,962 SF / 200 = 65 OCCUPANTS B 7704 SF / OCCUPANT 7704 SF / 100 = 77 OCCUPANTS TOTAL = 142 OCCUPANTS
CONSTRUCTION TYPE:	II-B	PLUMBING FIXTURES REQUIRED (BY OCCUPANCY):	WATER CLOSETS (1 PER 25 UP TO 50, 1 PER 50 BEYOND) - 4 REQUIRED LAVATORIES (1 PER 40 UP TO 80, 1 PER 80 BEYOND) - 3 REQUIRED DRINKING FOUNTAIN - 2 REQUIRED SERVICE SINK - 1 REQUIRED
SPRINKLER SYSTEM:	YES	EGRESS & ACCESSIBILITY REQUIREMENTS:	ANSI REQUIREMENTS APPLY - YES ELEVATOR REQUIRED - YES MIN. CORRIDOR WIDTH - 44" MIN. STAIR WIDTH - 44" EXITS REQUIRED - F-1 OCCUPANCY (2) B OCCUPANCY (2) EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2) - F-1 250' B 300' COMMON PATH OF TRAVEL - MAX. 100'-0"
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 602):	PRIMARY STRUCTURAL FRAME - 0 HR EXTERIOR BEARING WALLS - TABLE 602 INTERIOR BEARING WALLS - 0 HR INTERIOR NON-BEARING WALLS - 0 HR FLOOR CONSTRUCTION - 0 HR ROOF CONSTRUCTION - 0 HR		
SEPARATION REQUIREMENTS (TABLE 508.4):	NOT REQUIRED		
BUILDING HEIGHT (TABLE 502):	55'-0" + 20'-0" SPRINKLER INCREASE = 75'-0" TOTAL		
ALLOWABLE STORES (TABLE 502):	GROUP F-1 - 2 STORES + 1 STORY SPRINKLER INCREASE = 3 TOTAL		
ALLOWABLE AREAS:	F-1 46,500 SF PER STORY B 69,000 SF PER STORY		

PRELIMINARY NOT FOR CONSTRUCTION

Cover Sheet

DIEDRICH PHASE 2
PATRICK PROPERTIES
DATE: 06/20/2018
DRAWN BY: SAW
REVISIONS: BY



1 Roof Plan
SCALE: 3/16" = 1'-0"



P.O. BOX 9
SANDPOINT, IDAHO 83864
(208) 263-5072
info@BodenArchitecture.com
www.BodenArchitecture.com

This document is an unexecuted contract. It is the property of Boden Architecture and is not to be reproduced, distributed, or used for any purpose other than that for which it was prepared. All drawings Copyright © 2018 Boden Architecture.

PRELIMINARY NOT FOR CONSTRUCTION

Roof Plan

DIEDRICH
PHASE 2
PATRICK PROPERTIES

DATE: 06/20/2018

DRAWN BY: SAW

REVISIONS	BY



P.O. BOX 9
SANDPOINT, IDAHO 83864
(208) 263-5072
info@BodenArchitecture.com
www.BodenArchitecture.com

This document is an unexecuted contract. It is the property of Boden Architecture and is not to be reproduced, distributed, or used for any purpose other than that for which it was prepared. All drawings Copyright © 2018 Boden Architecture.

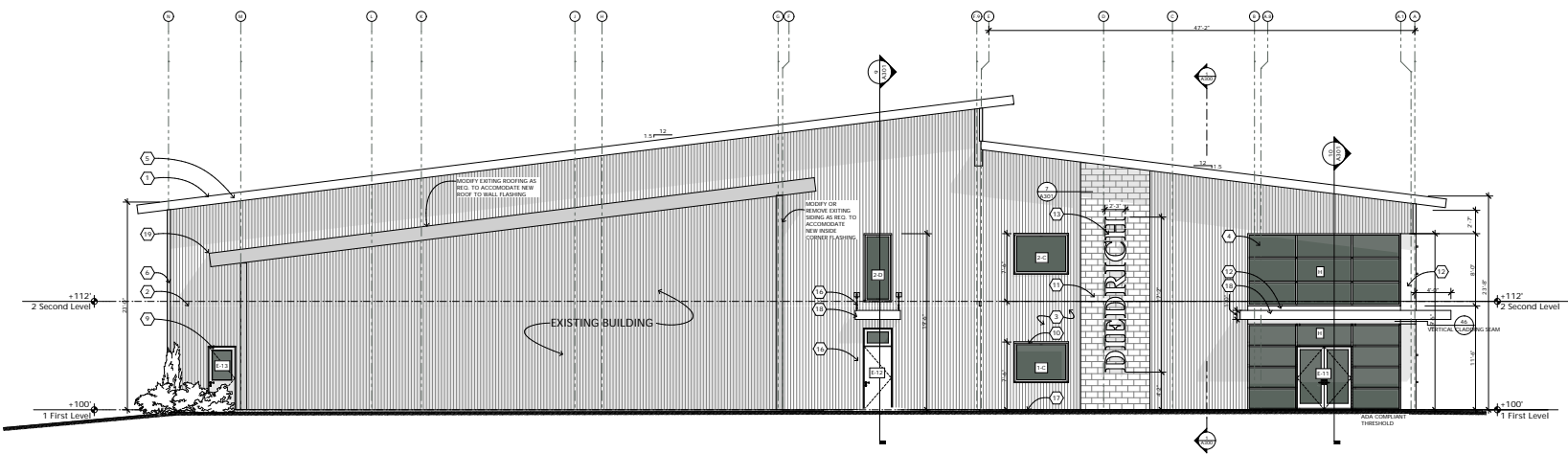
A103

SHEET 12

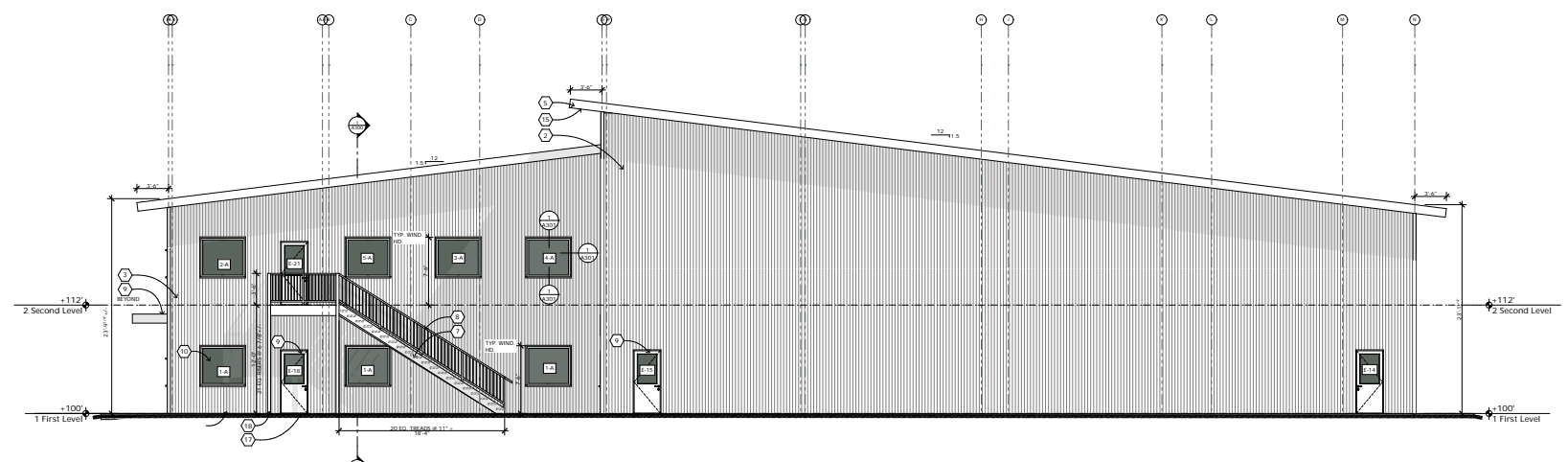
REVISIONS	BY

EXTERIOR ELEVATION MATERIALS & NOTES

- ① STANDING SEAM METAL ROOFING BY METAL BLDG. MFG
- ② VERTICAL METAL SIDING - COLOR 1
- ③ VERTICAL METAL SIDING WAINSCOT - COLOR 2
- ④ ALUMINUM STOREFRONT GLAZING SYSTEM
- ⑤ 24 GA. BREAK METAL FASCIA - COLOR 1
- ⑥ 4" PREFINISHED METAL CORNER TRIM
- ⑦ PAINTED STEEL STAIRS - CHANNEL STRINGERS W/ TRACTION GRATE TREADS
- ⑧ PAINTED STEEL GUARDRAIL / HANDRAIL SYSTEM
- ⑨ HOLLOW METAL INSULATED PANEL DOOR
- ⑩ VINYL WINDOWS, MCGUIRD STYLE LINE, COLOR CLAY
- ⑪ 8 X 14 HONED FACE CMU - SEALED
- ⑫ 24 GA. BREAK METAL INFILL TRIM - COLOR TO MATCH STOREFRONT FRAME
- ⑬ POWDER COATED PLATE STEEL OR CAST ALUMINUM LETTERS. COLOR - BLACK, FONT - TIMES NEW ROMAN WESTERN. STANDOFF MOUNT 2" FROM WALL.
- ⑭ INSULATED STEEL PANEL OVERHEAD DOOR
- ⑮ PREFINISHED VENTED METAL SOFFIT. COLOR TO MATCH METAL SIDING
- ⑯ POWDER COATED STEEL TENSION ROD CANOPY SUPPORT
- ⑰ CONCRETE SLAB ON GRADE SIDEWALK
- ⑱ STEEL ENTRY CANOPY
- ⑲ DRIP DIVERTER AT WALL FLASHING TERMINATION
- ⑳ STEEL STAIR COLUMN



① North Elevation
SCALE: 3/16" = 1'-0"

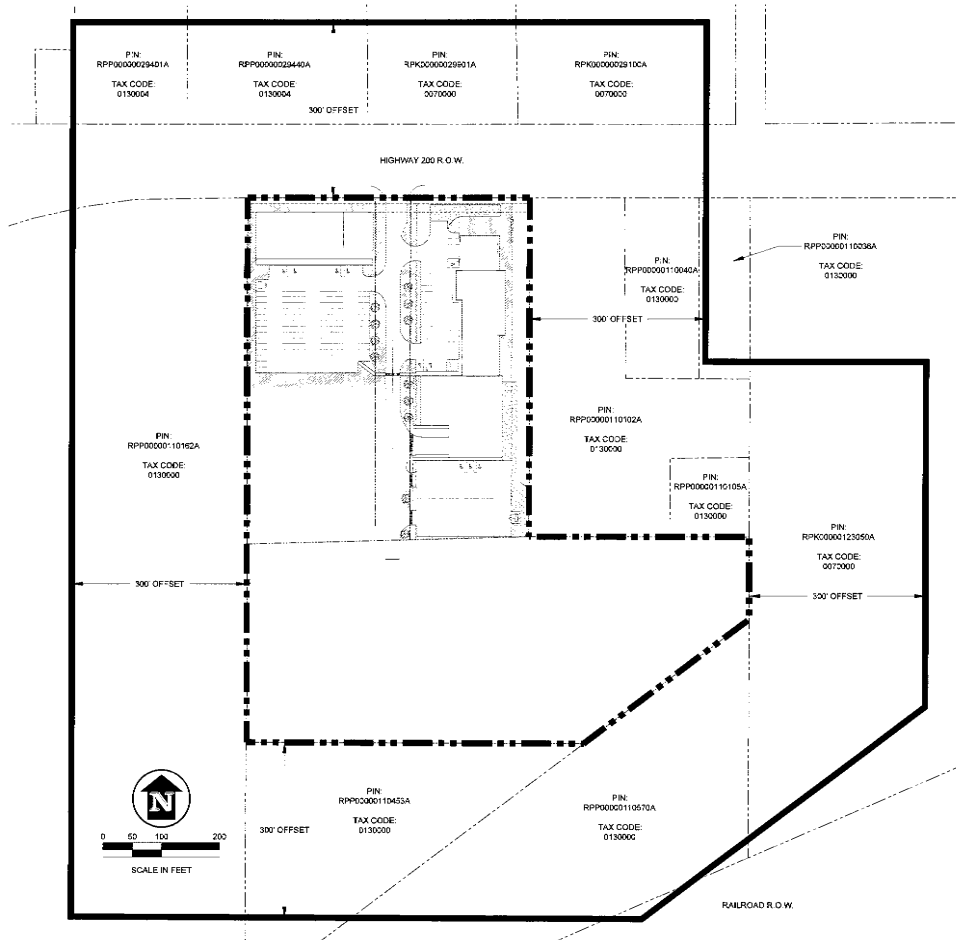


② South Elevation
SCALE: 3/16" = 1'-0"

SITE PLAN APPROVAL

LOT 1, PONDERAY PLACE - PHASE 2 INDUSTRIAL PARK

SECTION 11, TOWNSHIP 57 NORTH, RANGE 2 WEST, BOISE MERIDIAN, BONNER COUNTY, IDAHO



SHEET INDEX

SHEET #	TITLE
C1.0	VICINITY MAP & DRAWING INDEX
C1.1	LANDSCAPING & FIRE ACCESS
C1.2	PARKING & DRAINAGE PLAN
C2.1	GRADING, STORMWATER & EROSION CONTROL PLAN - NORTH
C2.2	GRADING, STORMWATER & EROSION CONTROL PLAN - SOUTH
C2.3	DETAILS & SPECIFICATIONS
C3.1	UTILITY PLAN - NORTH
C3.2	UTILITY PLAN - SOUTH

4.1 VICINITY MAP
SCALE: AS SHOWN



James A. Savelle and Associates, LLC
1318 NORTH DIVISION
SANDPOINT, IDAHO 83864
(208) 263-4160



FOR AGENCY REVIEW

SHEET TITLE
VICINITY MAP & SHEET INDEX

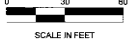
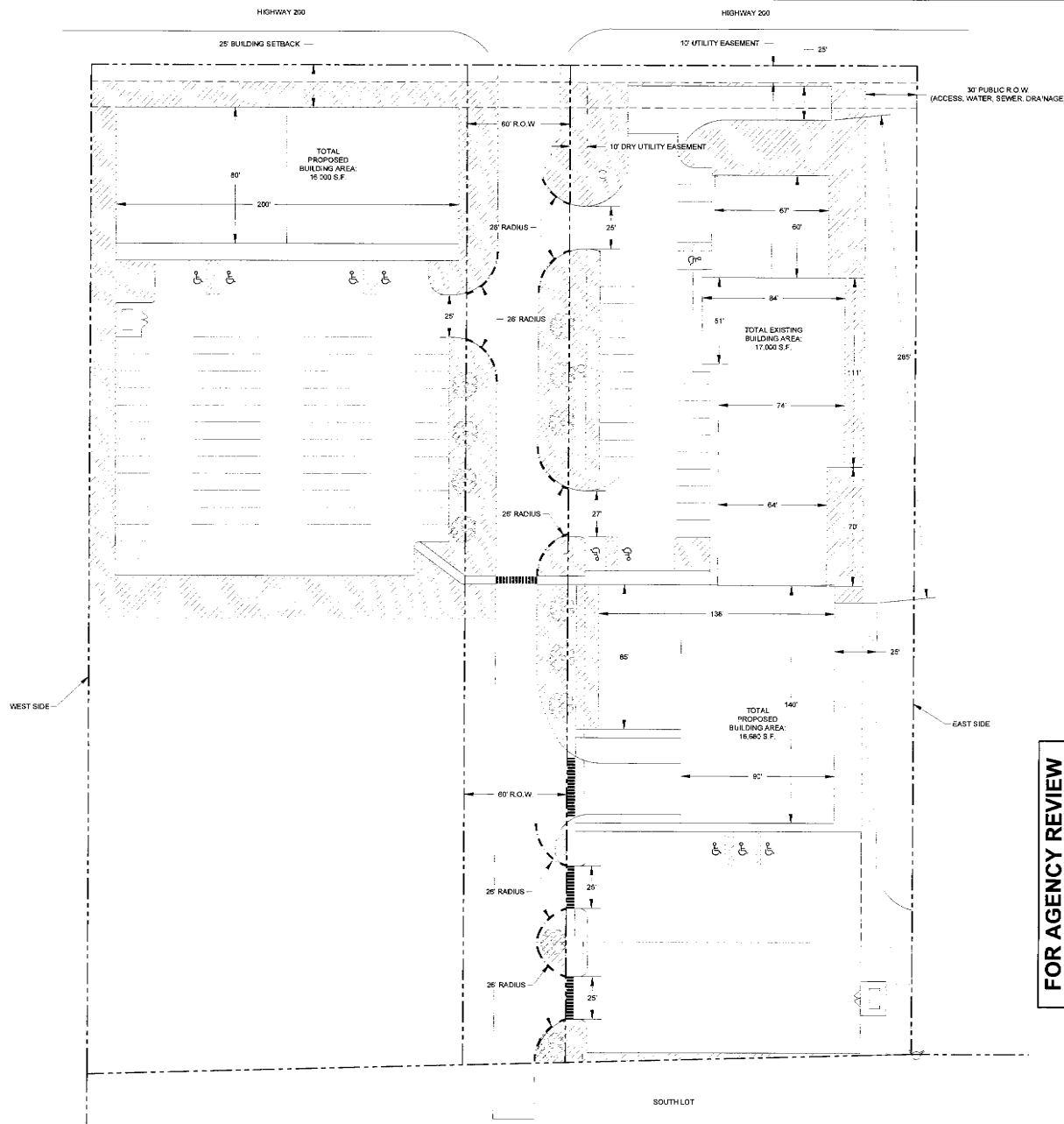
PROJECT:
DIEDRICH STORMWATER & UTILITY
COLIN BURNETT/DAGON HOMES, LLC
BONNER COUNTY, IDAHO

DATE: 3-15-18
SCALE: AS SHOWN
REVISED: TCB/A/B
DRAWN: JAS
CHECKED: JAS
PROJECT: TCB
REV. NO.: 02251-18-001
FILE: E-DIEDRICH18-001

LEGEND

- EMERGENCY VEHICLE GRAVEL ACCESS
- PROPOSED TREES
- GRASS AREAS
- EXISTING FIRE HYDRANTS

AREA TOTALS				
LOT	TOTAL LOT AREA	BUILDING AREA	IMPERVIOUS AREA	OPEN SPACE
80' R.O.W	0.81± ACRES	35,193 S.F.	0 S.F.	15,264 S.F.
WEST SIDE	2.96± ACRES	29,685 S.F.	16,000 S.F.	76,925 S.F.
EAST SIDE	2.71± ACRES	18,264 S.F.	83,928 S.F.	34,336 S.F.
SOUTH LOT	6.29± ACRES	269,960 S.F.	0 S.F.	269,210 S.F.
TOTALS:	12.7± ACRES	563,132 S.F.	150,722 S.F.	386,410 S.F.



4.1 LANDSCAPING & FIRE ACCESS
SCALE: AS SHOWN



DATE: 3/15/18
DRAWN BY: JAS
CHECKED BY: JAS
DESIGNED BY: JAS

James A. Sewell and Associates, LLC
1319 NORTH DIVISION
SANDPOINT, IDAHO 83864
(208) 263-4160



FOR AGENCY REVIEW

SHEET TITLE: LANDSCAPING & FIRE ACCESS
PROJECT: DIEDRICH STORMWATER & UTILITY
COLIN BURNETT/DAGON HOMES, LLC
BONNER COUNTY, IDAHO

DATE: 3-15-18
SCALE: AS SHOWN
DRAWN: TCB/AHB
CHECK: APB
DESIGN: TCB
PROJECT NO.: 02231-18-001
FILE: E-DIEDRICH2018.dwg



PROJECT: PARKING & DRAINAGE PLAN
 DATE: _____
 DIVISION: _____
 NO. _____

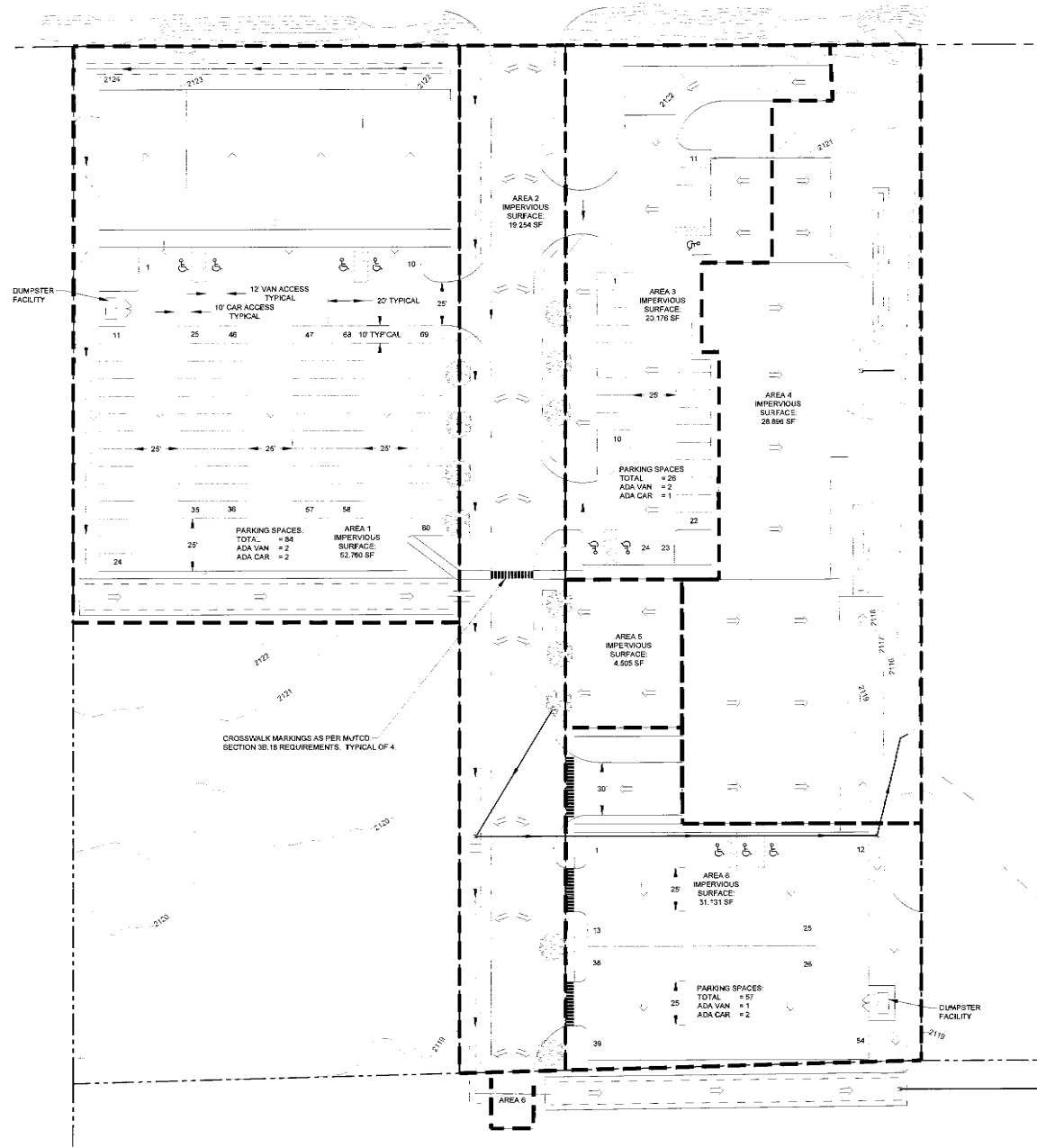
James A. Sewell and Associates, LLC
 13110 NORTH DIVISION
 SANDPOINT, IDAHO 83864
 (208) 263-4160



FOR AGENCY REVIEW

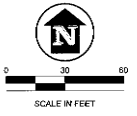
PROJECT: PARKING & DRAINAGE PLAN
 DATE: 3-15-18
 SCALE: AS SHOWN
 DESIGNED: TCB/AMH
 CHECKED: TCB
 PROJECT NO.: 02201-18-001
 FILE: E-DIEDRICH2018.dwg

C.1.2



STORM WATER CONTRIBUTING AREAS

AREA	CONTRIBUTING AREA	IMPERVIOUS AREA	1ST 1/2" RUNOFF	SWALE VOLUME
AREA 1	72,412 S.F.	52,760 S.F.	2,199 C.F.	2,200 C.F.
AREA 2	35,163 S.F.	19,254 S.F.	802 C.F.	1,780 C.F.
AREA 3	31,073 S.F.	23,176 S.F.	840 C.F.	SEE AREA 2
AREA 4	49,919 S.F.	28,896 S.F.	1,204 C.F.	1,350 C.F.
AREA 5	5,823 S.F.	4,505 S.F.	184 C.F.	200 C.F.
AREA 6	31,649 S.F.	31,131 S.F.	1,287 C.F.	1,350 C.F.
TOTAL IMPERVIOUS SURFACE AREA	166,722 S.F.	166,722 S.F.	6,530 C.F.	6,780 C.F.



4.1 PARKING & DRAINAGE PLAN
 SCALE: AS SHOWN



PROJECT: 1319 NORTH DIVISION SANDPOINT, IDAHO 83864 (208) 263-4160

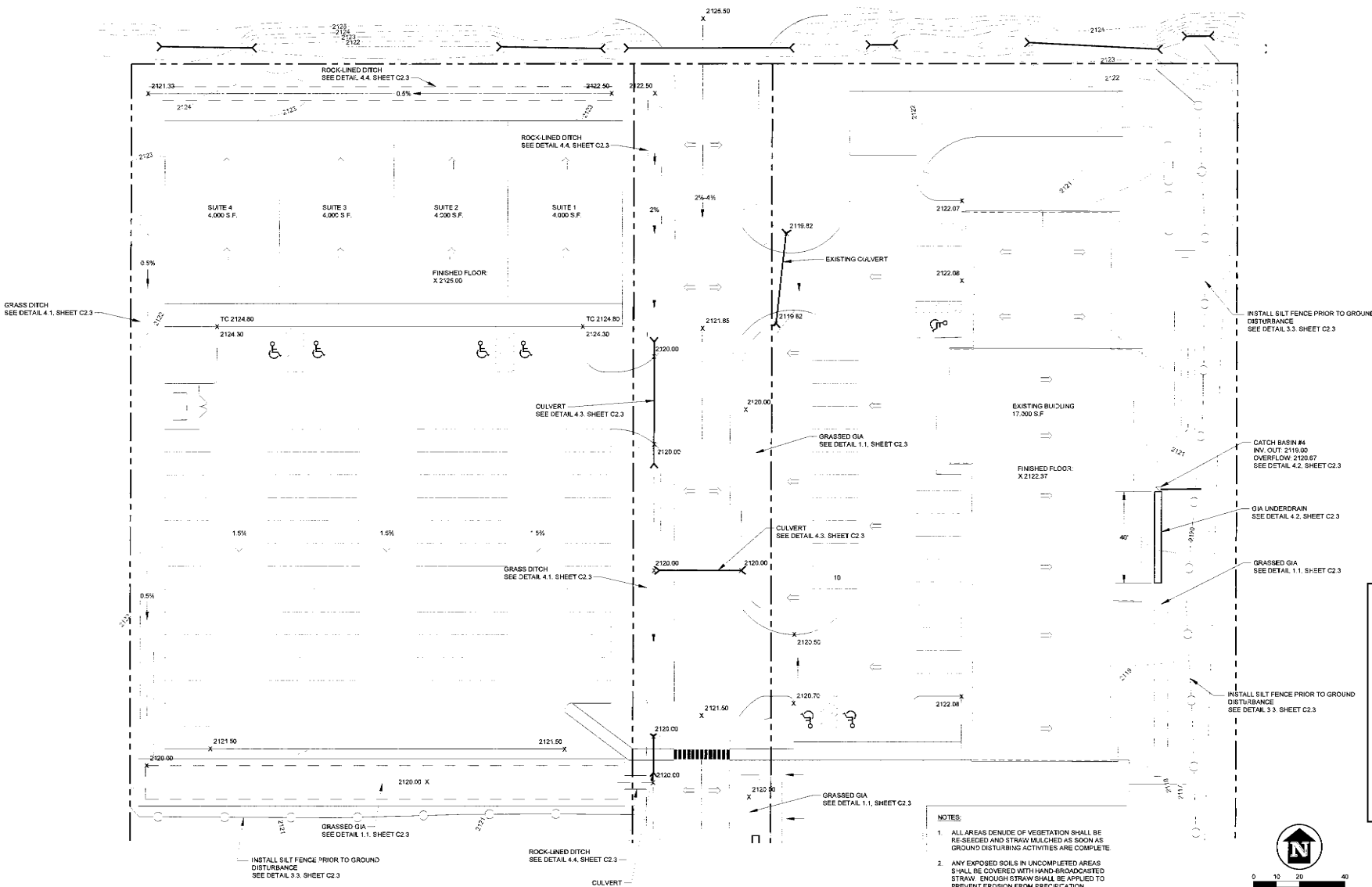
James A. Sewell and Associates, LLC
 1319 NORTH DIVISION
 SANDPOINT, IDAHO 83864
 (208) 263-4160



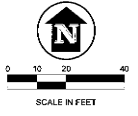
PROJECT: DIEDRICH STORMWATER & UTILITY COLIN BURNETT/IDAGON HOMES, LLC BONNER COUNTY, IDAHO

FOR AGENCY REVIEW

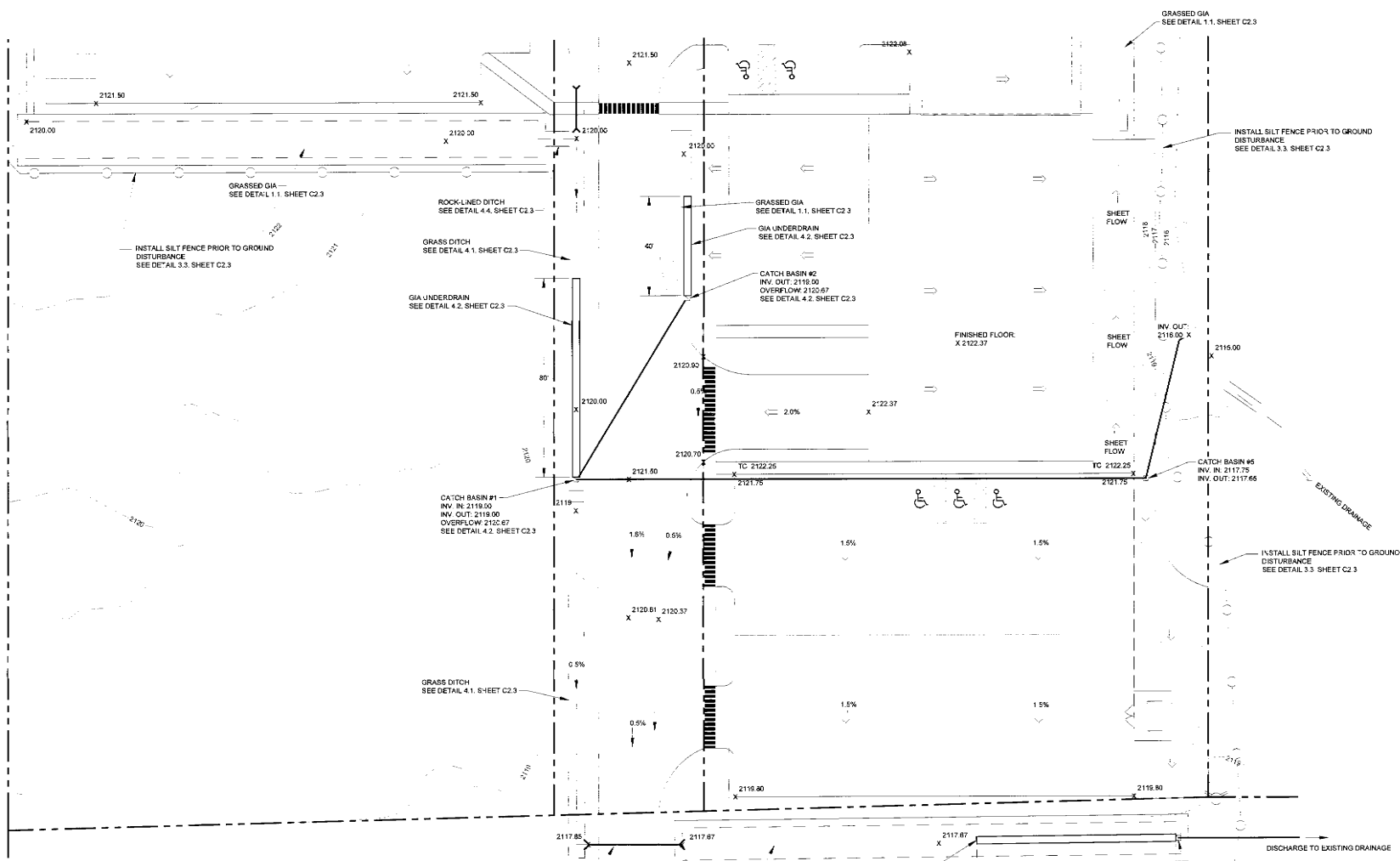
SHEET TITLE: GRADING, STORMWATER & EROSION CONTROL PLAN - NORTH
 SCALE: AS SHOWN
 DRAWN: TCR/AMB
 CHECKED: A-B
 DATE: TOB
 PROJECT NO: 02201-18-001
 FILE: E-DIEDRICH2019.dwg



- NOTES:**
1. ALL AREAS DENUDE OF VEGETATION SHALL BE RE-SEEDDED AND STRAW MULCHED AS SOON AS GROUND DISTURBING ACTIVITIES ARE COMPLETE
 2. ANY EXPOSED SOILS IN UNCOMPLETED AREAS SHALL BE COVERED WITH HAND-BROADCAST STRAW. ENOUGH STRAW SHALL BE APPLIED TO PREVENT EROSION FROM PRECIPITATION
 3. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AND FUNCTIONING PRIOR TO GROUND DISTURBANCE ACTIVITIES.



4.1 GRADING, STORMWATER & EROSION CONTROL PLAN - NORTH
 SCALE: AS SHOWN



- NOTES:**
1. ALL AREAS DENUDE OF VEGETATION SHALL BE RE-SEEDED AND STRAW MULCHED AS SOON AS GROUND DISTURBING ACTIVITIES ARE COMPLETE.
 2. ANY EXPOSED SOILS IN UNCOMPLETED AREAS SHALL BE COVERED WITH HAND-BROADCASTED STRAW. ENOUGH STRAW SHALL BE APPLIED TO PREVENT EROSION FROM PRECIPITATION.
 3. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AND FUNCTIONING PRIOR TO GROUND DISTURBANCE ACTIVITIES.

4.1 GRADING, STORMWATER & EROSION CONTROL PLAN - SOUTH
SCALE: AS SHOWN

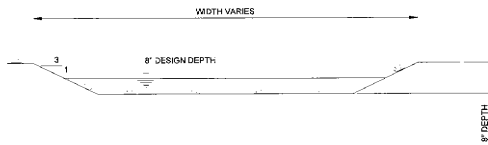
FOR AGENCY REVIEW



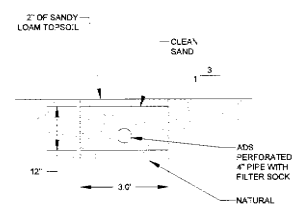
James A. Sewell and Associates, LLC
1319 NORTH DIVISION
SANDPOINT, IDAHO 83864
(206) 263-4160

SHEET TITLE:	GRADING, STORMWATER & EROSION CONTROL PLAN - SOUTH
PROJECT:	DIEDRICH STORMWATER & UTILITY COLIN BURNETT/DAGON HOMES, LLC BONNER COUNTY, IDAHO
SHEET NO.:	3-15-18
SCALE:	AS SHOWN
DESIGNER:	TCB/KAP
DRAWN:	AKB
CHECKED:	TCB
PROJECT NO.:	02201-18-001
FILE:	E-DIEDRICH0518.dwg

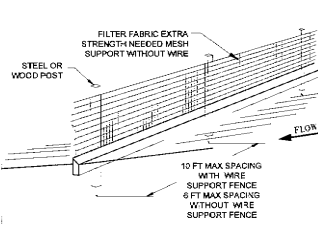
NOTE: BOTTOM OF GIA TO BE CONSTRUCTED LEVEL THROUGHOUT.



1.1 GRASSED INFILTRATION AREA (GIA)
SCALE: NOT TO SCALE

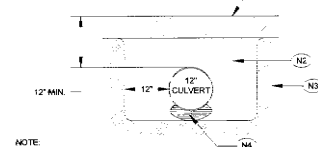


4.2 CATCH BASIN WITH UNDERDRAIN
SCALE: N.T.S.

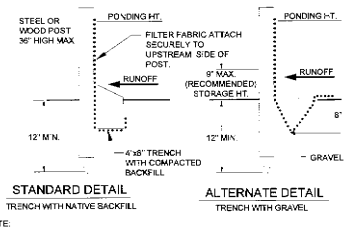


3.3 SILT FENCE
SCALE: N.T.S.

- (N1) COMPACTED GRAVEL DRIVEWAY TURN-AROUND
- (N2) COMPACTED BACKFILL IN 6' LIFTS
- (N3) NATURAL GROUND
- (N4) HAND TAMPED AND 8-INCH TO FIT



4.3 CULVERT
SCALE: N.T.S.



4.4 ROCK LINED DITCH
SCALE: NOT TO SCALE

4.1 GRASS DITCH
SCALE: N.T.S.

NOTES:
1. ALL DITCHES GREATER THAN 4% SLOPE MUST BE ROCK LINED.

GENERAL - STORM WATER AND EROSION CONTROL SHALL CONFORM TO THE CITY OF PONDREY STORM WATER MANAGEMENT ORDINANCE. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS IF NECESSARY. THE CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS BETWEEN CONDITIONS SHOWN ON PLANS AND CONDITIONS ENCOUNTERED IN THE FIELD TO THE OWNER AND THE ENGINEER OR THE ENGINEER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS.

CONSTRUCTION STAGING - A CONSTRUCTION STAGING AREA SHALL BE DELINEATED TO LIMIT CONSTRUCTION VEHICLE DISTURBANCES.

EXCESS EXCAVATION - EXCESS EXCAVATION SHALL BE PLACED WHERE DIRECTED BY THE ENGINEER.

MATERIAL STOCK PILES - ALL ERODIBLE STOCK PILED MATERIALS SHALL BE COVERED WITH TARPS AND SECURED. OR THE BASE OF THE STOCK PILES SHALL BE SURROUNDED BY SILT FENCE.

CULVERT - CULVERT SHALL BE CORRUGATED METAL PIPE OR ADS TYPE N-12 PIPE, 12" MIN DIAMETER, OR OTHERWISE SPECIFIED BY ENGINEER.

GRA SEEDING - THE GIA SHALL BE SEEDED WITH NATIVE SEED MIXTURE. RECOMMENDATIONS FOR SEEDING MIXTURE MAY BE OBTAINED FROM THE U.S.D.A. NATURAL RESOURCE CONSERVATION SERVICE, LANDSCAPE ARCHITECT OR COMMERCIAL MARKETED GRASS MIXTURE MAY BE APPLIED ACCORDING TO THE ATTACHED INSTRUCTIONS.

EROSION CONTROL - EROSION CONTROL SHALL BE MAINTAINED THROUGH THE USE OF EXISTING VEGETATION. SILT FENCE, ROCK LINED DITCH WITH CHECK DAMS AND RESEEDING OF AREAS DENuded OF VEGETATION. SILT FENCE SHALL BE PLACED DOWNSLOPE OF ALL CONSTRUCTION AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR MORE THAN 21 DAYS SHALL BE STABILIZED WITH SEEDING OR OTHER METHODS OF STABILIZATION APPROVED BY THE ENGINEER OR HIS REPRESENTATIVE. LESS THAN ONE HALF THE SITE SHALL BE DENuded OF VEGETATION AT ANY ONE TIME. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL MEASURES UNTIL SUCH TIME THAT FINAL STABILIZATION OF THE SITE IS COMPLETE.

INSPECTIONS - THE CONTRACTOR SHALL INSPECT ALL STORM WATER AND EROSION CONTROL MEASURES AT LEAST ONCE EVERY WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER UNTIL SUCH TIME THAT FINAL STABILIZATION IS COMPLETE. THE FOLLOWING ITEMS SHALL BE INSPECTED:

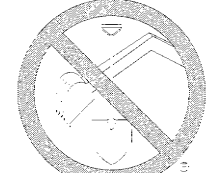
- SILT FENCE
 - DEPTH OF SEDIMENT (SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED 1/3 THE HEIGHT OF THE SILT FENCE)
 - TEARS IN FABRIC
 - FABRIC SECURED TO FENCE POSTS
 - FENCE POST FIRMLY IN GROUND
- ROCK LINED DITCH
 - SEDIMENT BUILD UP
 - CATCH BASINS, ORIFICES, AND CONVEYANCE PIPES
 - SEDIMENT BUILD UP
 - RESEEDING
 - BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH
- GIA
 - DEPTH OF SEDIMENT (SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 OF THE DESIGN CAPACITY OF THE GIA, AND/OR AT THE END OF CONSTRUCTION)
- CULVERT
 - CLOGS
 - SEDIMENT BUILD UP
 - SIGNS OF EROSION

THE ENGINEER OR THE ENGINEER'S REPRESENTATIVE SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF THE FOLLOWING INSTALLATIONS:

- TEMPORARY EROSION CONTROL MEASURES
- SILT FENCE
- ROCK LINED DITCH
- RESEEDING

- GIA
- CULVERT
- CATCH BASINS

3.5 STORMWATER SPECIFICATIONS
SCALE: N.T.S.



CALL
2 WORKING DAYS BEFORE YOU DIG!

Bonner Boundary One Call
1-800-626-4950

FOR AGENCY REVIEW



James A. Sappell and Associates, LLC
1319 NORTH DIVISION
SANDPOINT, IDAHO 83864
(208) 263-4160

SPECIALIST IN STORMWATER & EROSION CONTROL
 DETAILS & SPECIFICATIONS
 PROJECT: DIEORICH STORMWATER & UTILITY
 COLIN BURNETT/DAGON HOMES, LLC
 BONNER COUNTY, IDAHO



DATE: 02/18/2020
 DRAWN BY: JAS
 CHECKED BY: JAS
 PROJECT: 2020-18-C01

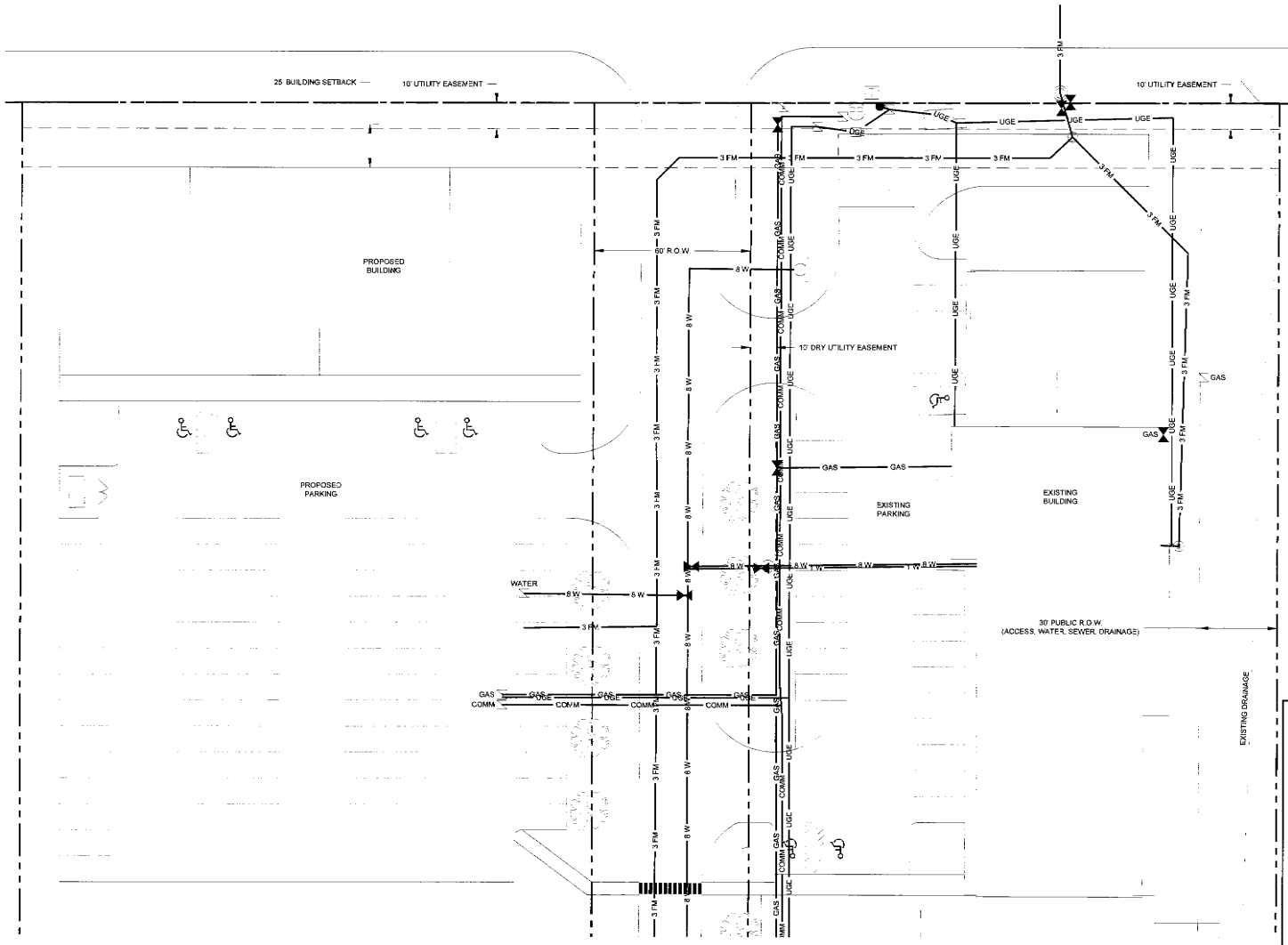
James A. Sorell and Associates, LLC
 1319 NORTH DIVISION
 SANDPOINT, IDAHO 83864
 (208) 263-4160



FOR AGENCY REVIEW

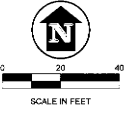
SHEET TITLE: UTILITY PLAN - NORTH
 PROJECT: DIEDRICH STORMWATER & UTILITY
 COLIN BURNETT/IDAGON HOMES, LLC
 BONNER COUNTY, IDAHO

DATE: 3-15-18
 SCALE: AS SHOWN
 DESIGNED: TCB/AHB
 DRAWN: AHB
 CHECKED: TCB
 PROJECT NO: 2020-18-C01
 FILE: E-DIEDRICH2018.dwg











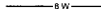


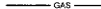





LEGEND

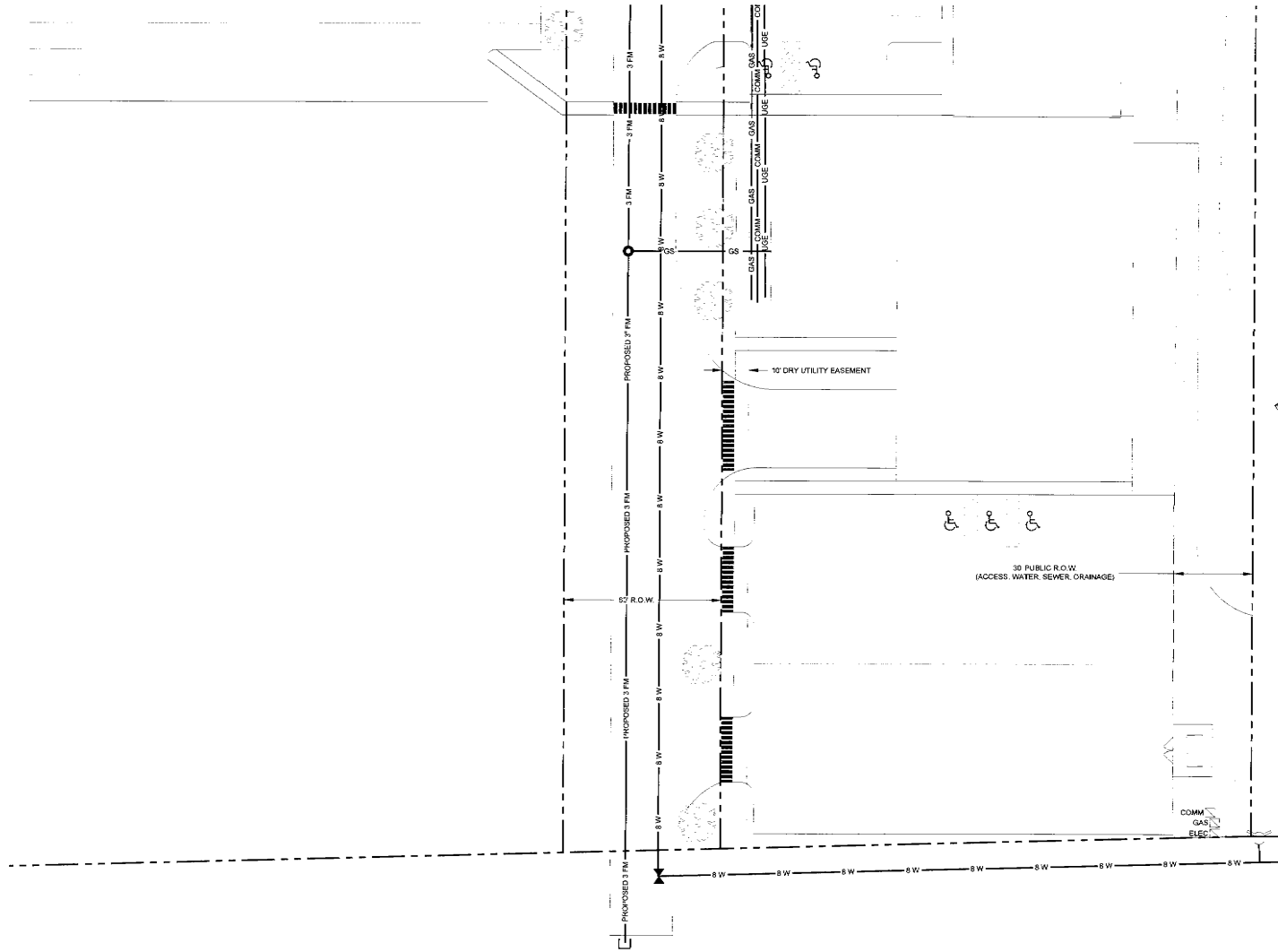
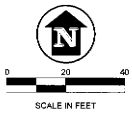
- EXISTING POWER POLE
- EXISTING SERVICE LOCATIONS
- EXISTING TELEPHONE JUNCTION BOX
- EXISTING ELECTRICAL METER
- UTILITY VALVE
- 3 FM EXISTING 3" SEWER FORCE MAIN
- GS PROPOSED GRAVITY SEWER
- 8 W EXISTING 8" WATER MAIN
- 1 W EXISTING 1" WATER MAIN SERVICE
- GAS EXISTING GAS LINE
- COMM EXISTING COMMUNICATIONS LINE
- UGE EXISTING UNDERGROUND ELECTRICAL
- MH SEWER MANHOLE
- EXISTING SEWER PUMP STATION
- PROPOSED SEWER PUMP STATION
- EXISTING FIRE HYDRANT



4.1 UTILITY PLAN - NORTH
 SCALE: AS SHOWN

LEGEND

-  EXISTING POWER POLE
-  EXISTING SERVICE LOCATIONS
-  EXISTING TELEPHONE JUNCTION BOX
-  EXISTING ELECTRICAL METER
-  UTILITY VALVE
-  EXISTING 3" SEWER FORCE MAIN
-  PROPOSED GRAVITY SEWER
-  EXISTING 8" WATER MAIN
-  EXISTING 1" WATER MAIN SERVICE
-  EXISTING GAS LINE
-  EXISTING COMMUNICATIONS LINE
-  EXISTING UNDERGROUND ELECTRICAL
-  PROPOSED 3" SEWER FORCE MAIN
-  SEWER MANHOLE
-  EXISTING SEWER PUMP STATION
-  PROPOSED SEWER PUMP STATION
-  EXISTING FIRE HYDRANT



4.1 UTILITY PLAN - SOUTH
SCALE: AS SHOWN

FOR AGENCY REVIEW



DATE: _____
DRAWN BY: _____
CHECKED BY: _____
IN CHARGE: _____

James A. Sewell and Associates, LLC
1319 NORTH DIVISION
SANDPOINT, IDAHO 83864
(208) 263-4160



SHEET TITLE	UTILITY PLAN - SOUTH
DATE	3-15-19
ISSUE	AS SHOWN
DESIGNER	TCB/AHE
DRAWN	AHE
CHECKED	TCB
PROJECT NO.	02201-18-001
FILE	E-DIEDRICH0018.dwg

C3.2

